

PHASE 2 - HISTORIC STABILIZATION

BANDERA COUNTY VISITOR CENTER

100% CONSTRUCTION DOCUMENT



OWNERS

BANDERA COUNTY
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BANDERA, TX 78003
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Fisher Heck
ARCHITECTS



11/01/24

PROJECT: BANDERA COUNTY VISITOR CENTER

SHEET TITLE: COVER SHEET

PROJECT NO: 2301 A1

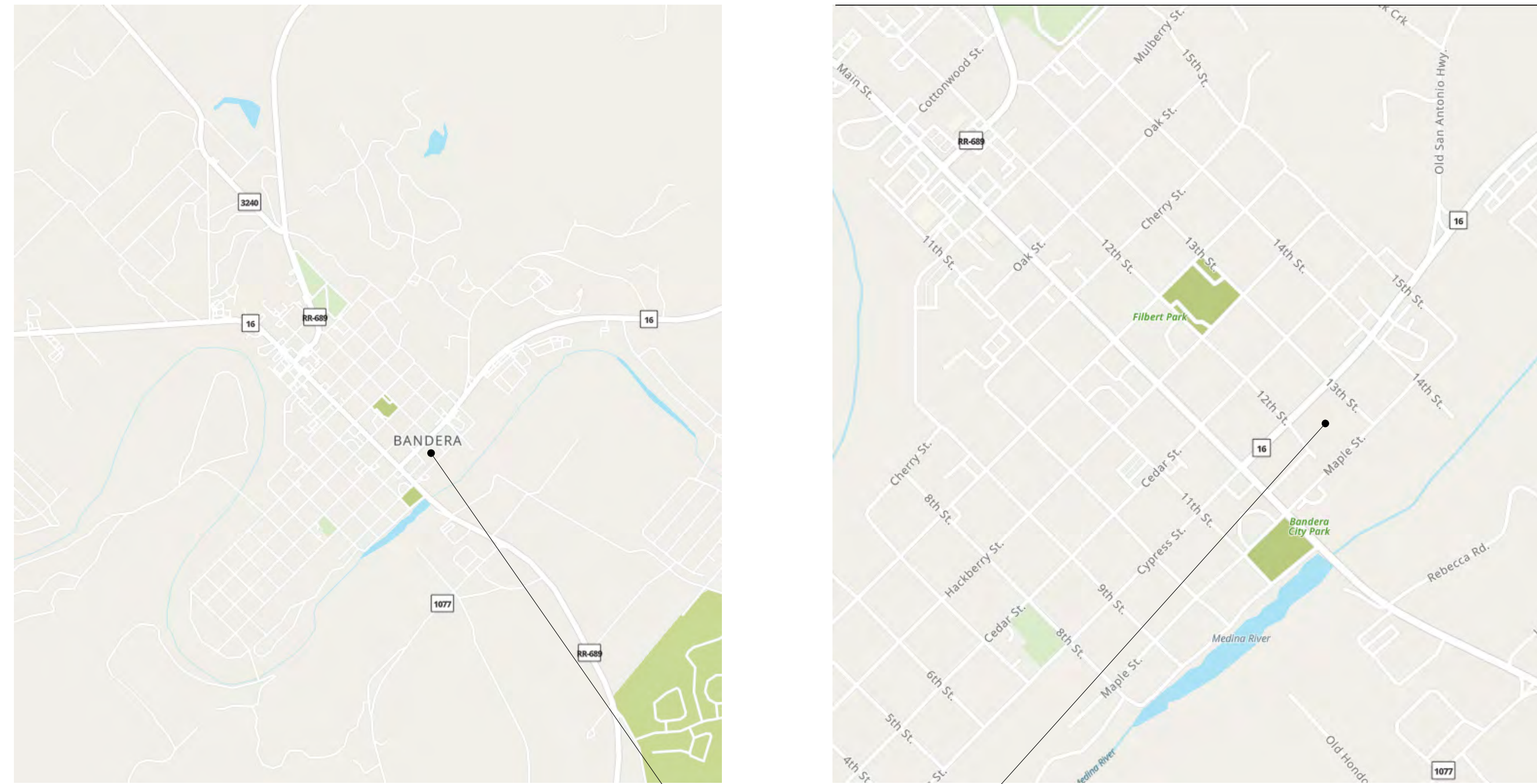
REVISIONS DATE
1 RE-ISSUE 11/1/2024

SHEET NO:

G-100

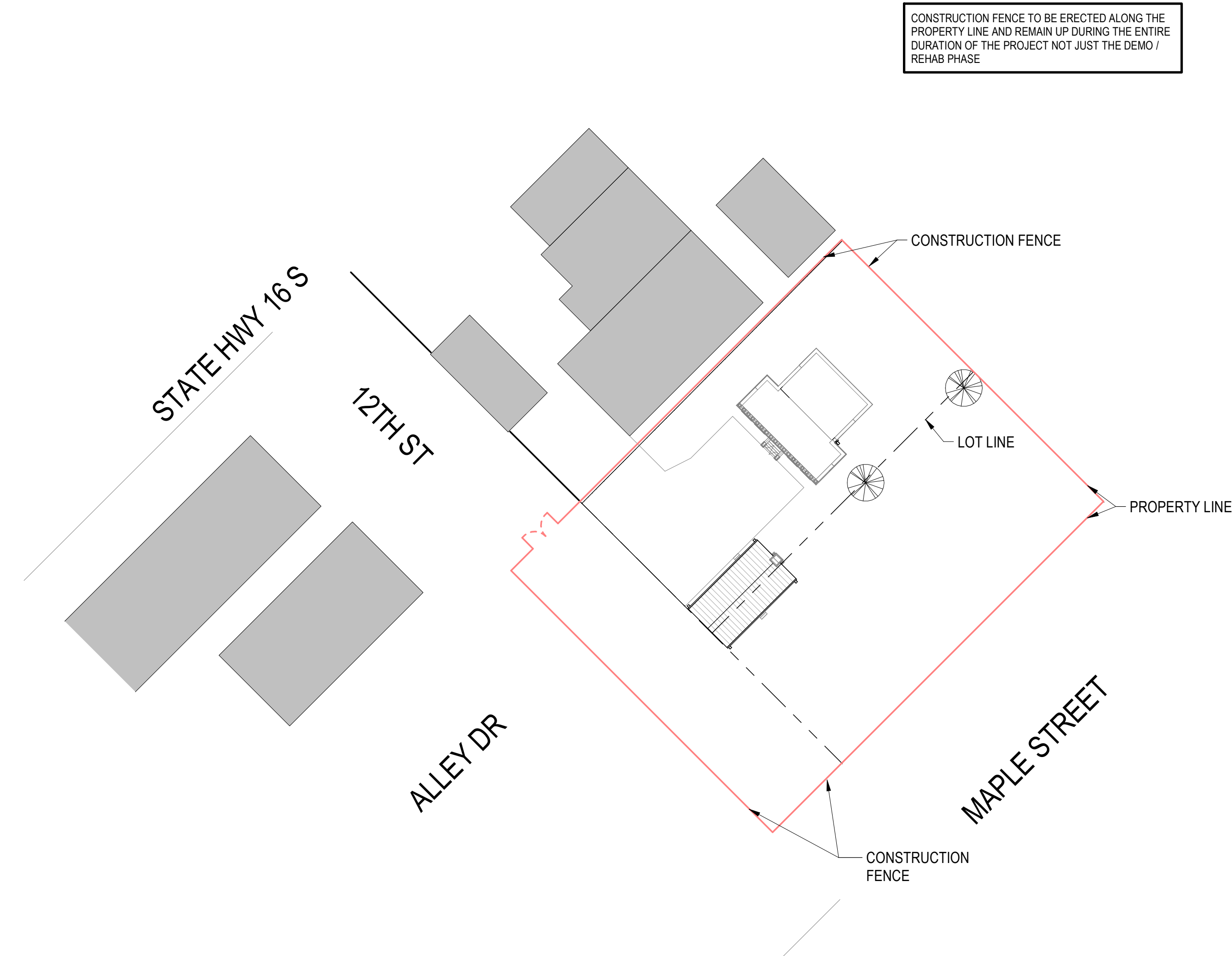
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LOCATION MAPS



BANDERA JAIL VISITOR CENTER
200 12TH ST
BANDERA, TX 78003

CONSTRUCTION SITE PLAN



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CODE INFO & ANALYSIS

APPLICABLE CODES AND STANDARDS:

THIS PROJECT IS IN THE CITY OF BANDERA, TEXAS. THE CITY OF BANDERA CURRENTLY HAS ADOPTED THE FOLLOWING CODES WITH LOCAL AMENDMENTS:

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 NATIONAL ELECTRICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE

1877 COURTHOUSE:

- OCCUPANCY CLASSIFICATION:**
- GROUP B
- CLASSIFICATION OF WORK:**
- ALTERATION - LEVEL 3

CONSTRUCTION CLASSIFICATION:

- TYPE - III-B

AREAS:

- ACTUAL TOTAL AREA (EXISTING) - 1,990 SF

1881 JAIL:

- OCCUPANCY CLASSIFICATION:**
- GROUP B
- CLASSIFICATION OF WORK:**
- ALTERATION - LEVEL 3

CONSTRUCTION CLASSIFICATION:

- TYPE - III-B

AREAS:

- ACTUAL TOTAL AREA (EXISTING) - 2,230 SF

SYMBOLS

| | | | |
|------------|---------------------------|--------|---------------------------|
| & | AND | MAS | MASONRY |
| @ | AT | MAX | MAXIMUM |
| # | POUND, NUMBER | MDP | MAIN DISTRIBUTION PANEL |
| € | CENTER LINE | MECH | MECHANICAL |
| ACT | ACOUSTICAL CEILING | MED | MEDIUM |
| ADDN | ADDITION | MFR | MANUFACTURER |
| ADDNL | ADDITIONAL | MH | MANHOLE |
| ADJ | ADJUSTABLE | MN | MINIMUM |
| AFF | ABOVE FINISHED FLOORS | MISC | MISCELLANEOUS |
| AHU | AIR HANDLING UNIT | MO | MASONRY OPENING |
| ALT | ALTERNATE | MTD | MOUNTED |
| ALUM | ALUMINIUM | MTL | METAL |
| APPROX | APPROXIMATE | N | NORTH |
| ARCH | ARCHITECT, ARCHITECTURE | NIC | NOT IN CONTRACT |
| B.O. | BOTTOM OF | NO | NUMBER |
| BCS | BABY CHANGING STATION | NOM | NOMINAL |
| BD | BOARD | NTS | NOT TO SCALE |
| BLDG | BUILDING | OC | ON CENTER |
| CFM | CUBIC FEET PER MINUTE | OD | OUTSIDE DIAMETER |
| CFT | CERAMIC FLOOR TILE | O.H. | OPPOSITE HAND |
| CJ | CONTROL JOINT | OSPP | OPPOSITE |
| CFA | CLEAR FLOOR AREA | OZ | OUNCE |
| CLLG | CEILING | P | PAINT |
| CLR | CLEAR | PCF | POUNDS PER CUBIC FOOT |
| CMU | CONCRETE MASONRY UNIT | PERF | PERFORATED |
| CO | CLEAN OUT | PL | PLATE |
| COL | COLUMN | PLAM | PLASTIC LAMINATE |
| CONC | CONCRETE | PLUM | PLUMBING |
| CONST CONT | CONSTRUCTION-CONTINUOUS | PLF | POUNDS PER LINEAR FOOT |
| CPT | CARPET | PLYWD | PLYWOOD |
| CPTB | CARPET BASE | PR | PAPER |
| CTB | CERAMIC TILE BASE | PSF | POUNDS PER SQUARE FOOT |
| CWT | CERAMIC WALL TILE | PSI | POUNDS PER SQUARE INCH |
| CU | CONDENSING UNIT | PT | POINT |
| CUH | CABINET UNIT HEATER | PTD | PAINTED |
| CW | COLD WATER | PVC | POLYVINYL CHLORIDE |
| DTL | DETAIL | PVMT | PAVEMENT |
| DIA | DIAMETER | QT | QUARRY TILE |
| DIM | DIMENSION | QTY | QUANTITY |
| DISP | DISPENSER | R | RISER, RADIUS |
| DN | DOWN | RB | RUBBER BASE BOARD |
| DS | DOWNSPOUT | RCP | REFLECTED CEILING PLAN |
| DW | DUMB WATER | RD | ROOF DRAIN |
| DWG | DRAWING | RE- | REFER TO |
| E | EAST | REF | REFRIGERATOR |
| EA | EACH | REINF | REINFORCE (D) |
| EJ | EXPANSION JOINT | REQ | REQUIRED |
| ELEV | ELEVATION | REV | REVISIONS |
| ELEC | ELECTRICAL | RF | RESILIENT FLOORING |
| EP | ELECTRICAL PANEL | RH | RIGHT HAND |
| EQ | EQUAL | RM | ROOM |
| EQUIP | EQUIPMENT | RO | ROUGH OPENING |
| EW | ELECTRIC WATER COOLER | ROW | RIGHT OF WAY |
| EWH | ELECTRIC WATER HEATER | RS | ROUGH SAWN |
| EXH | EXHAUST | RTU | ROOF TOP UNIT |
| EXP | EXPANSION | S | SOUTH |
| EXT | EXTERIOR | SAN | SANITARY |
| FA | FIRE ALARM | SAT | SUSPENDED ACOUSTICAL TILE |
| FACP | FIRE ALARM CONTROL PANEL | SC | SCHEDULE |
| FD | FLOOR DRAIN, FIRE DAMPER | SCHED | SCHEDULE |
| FE | FIRE EXTINGUISHER | SECT | SECTION |
| FEC | FIRE EXTINGUISHER CABINET | SERV | SERVICE |
| FF | FINISHED FLOOR | SF | SQUARE FEET |
| FG | FINISHED GRADE | SIM | SIMILAR |
| FIN | FINISHED | SPEC | SPECIFICATIONS |
| FIN(ED) | FLOOR FINISH | SQ | SQUARE |
| FLR(G) | FLOOR FINISH | SS | STAINLESS STEEL |
| FO | FACE OF | ST | STORM |
| FT | FOOT, FEET | STD | STANDARD |
| FTG | FOOTING | STL | STEEL |
| FURN | FURNISHED | STRUCT | STRUCTURAL |
| FWC | FABRIC WALL COVERING | SUSP | SUSPENDED |
| GA | GAUGE | SWG | STANDARD WIRE GAUGE |
| GALV | GALVANIZED | SYM | SYMMETRICAL |
| GC | GENERAL CONTRACTOR | T | TREAD |
| GFI | GROUND FAULT INTERRUPTER | T&B | TOP AND BOTTOM |
| GL | GLASS | T&G | TONGUE AND GROOVE |
| GYP | GYPSUM | TEL | TELEPHONE |
| HB | HOSE BIBB | TEMP | TEMPERATURE, TEMPERED |
| HC | HOLLOW CORE | THK | THICK (NESS) |
| HWD | HARDWOOD | T.O. | TOP OF |
| HD | HIGH INTENSITY DISCHARGE | TYP | TYPICAL |
| HM | HOLLOW METAL | TV | TELEVISION |
| HORIZ | HORIZONTAL | UG | UNDERGROUND |
| HVAC | HEAT, VENT, A/C | UH | UNIT HEATER |
| HW | HOT WATER | UNO | UNLESS NOTED OTHERWISE |
| ID | INSIDE DIAMETER | VB | VINYL BASE BOARD |
| INCL | INCLUDING | VCT | VINYL COMPOSITION TILE |
| INT | INTERIOR | VERT | VERTICAL |
| INV | INVERT | VIF | VERIFY IN FIELD |
| JB | JUNCTION BOX | VWC | VINYL WALL COVERING |
| JST | JOIST | W | WEST |
| K | KIP (1,000 POUNDS) | W | WITH |
| LAM | LAMINATED | W/O | WITHOUT |
| LAV | LAVATORY | WB | WOOD BASE BOARD |
| LB | POUND | WC | WATER CLOSET |
| LF | LINEAR FEET | WD | WOOD |
| LH | LEFT HAND | WH | WATER HEATER |
| LL | LIVE LOAD | WP | WATERPROOF, WORK POINT |
| LLH | LONG LEG HORIZONTAL | WT | WEIGHT |
| LLV | LONG LEG VERTICAL | WWF | WELDED WIRE FABRIC |
| LP | LIGHTNING PANEL | YD | YARD |
| LTWT | LIGHTWEIGHT | | |

ABBREVIATIONS

| | | |
|------|--------------------------------|--------------------------------|
| NAME | ROOM NAME DESIGNATION | EXISTING CONSTRUCTION |
| 101 | | |
| 1 | WINDOW DESIGNATION | EXISTING WALL CONSTRUCTION |
| 101 | DOOR DESIGNATION | NEW CONSTRUCTION |
| 1 | EXTERIOR ELEVATION DESIGNATION | NEW FRAMED WALL CONSTRUCTION |
| 1 | DETAIL NUMBER | NEW CONCRETE WALL CONSTRUCTION |
| 1 | SHEET REFERENCE | NEW CMU WALL CONSTRUCTION |
| 1 | INTERIOR ELEVATION DESIGNATION | OBJECT TO BE DEMOLISHED |
| 1 | DETAIL NUMBER | WALL TO BE DEMOLISHED |
| 1 | SHEET REFERENCE | |
| 1 | BUILDING SECTION DESIGNATION | WALL PARTITION TYPE |
| 1 | DETAIL NUMBER | KEYNOTE DESIGNATION |
| 1 | SHEET REFERENCE | |
| 1 | SECTION DETAIL DESIGNATION | TOILET ACCESSORY DESIGNATION |
| 1 | DETAIL NUMBER | |
| 1 | SHEET REFERENCE | |
| 1 | ENLARGED DETAIL DESIGNATION | |
| 1 | DETAIL NUMBER | |
| 1 | SHEET REFERENCE | |

GENERAL NOTES

- THESE DOCUMENTS SHOULD NOT BE CONSIDERED AS A SURVEY OF EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
- ALL NOTES REFERENCE NEW WORK UNLESS NOTED AS EXISTING.
- PATCH ALL SURFACES AND AREAS AFFECTED BY DEMOLITION AND PREPARE FOR REHABILITATION.
- THE EXTENT OF DEMOLITION WORK IS SHOWN ON THE DRAWINGS. IT IS NOT POSSIBLE TO SHOW REQUIRED DEMOLITION, REMODELING AND PATCHING IN EVERY DETAIL. THE CONTRACTOR SHALL VISIT THE FACILITY TO DETERMINE THE EXTENT OF DEMOLITION AND REMODELING WORK, AND TO FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ADDITIONAL WORK REQUIRED AS A RESULT OF THE WORK INDICATED HEREIN OR FOR PATCHING REQUIRED AS A RESULT OF NEW WORK, REMODELING OR DEMOLITION.
- IT IS NOT POSSIBLE FOR THE ARCHITECT TO NOTE ALL DETERIORATED CONDITIONS. THE CONTRACTOR SHALL VISIT THE FACILITY TO DETERMINE THE CONDITION OF STRUCTURAL FRAMING AND OTHER STRUCTURAL MEMBERS WHICH ARE VISABLE AT THE TIME OF SITE VISIT. THE CONTRACTOR WILL NOTIFY ARCHITECT AND OWNER IF STRUCTURAL MEMBERS ARE FOUND TO BE AT A DETERIORATED STATE.
- UNLESS SPECIFICALLY DESIGNATED FOR SALVAGE, DEMOLITION INCLUDES REMOVAL AND DISPOSAL OF DEMOLISHED MATERIALS. CONTRACTOR SHALL PROVIDE SUITABLE MEANS FOR DISPOSAL OF DEMOLISHED MATERIALS AND CONSTRUCTION DEBRIS.
- ITEMS INDICATED FOR SALVAGE BY OWNER SHALL BE REMOVED BY THE CONTRACTOR AND DELIVERED TO OWNER'S DESIGNATED STORAGE AREA.
- REMOVE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION.
- ALL MATERIALS NOT DESIGNATED FOR SALVAGE BY OWNER SHALL BE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
- REPAIR AT NO COST TO THE OWNER, DAMAGE CAUSED TO ADJACENT AREAS, MATERIALS AND EQUIPMENT BY DEMOLITION AND NEW CONSTRUCTION OPERATIONS.
- ALL WALL CEILING AND FLOOR CONSTRUCTION WHICH IS AFFECTED BY MEP DEMOLITION IS TO BE PATCHED AND PREPARED FOR NEXT PHASE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING SHORING REQUIREMENTS IF NECESSARY.
- THE GENERAL AND SUBCONTRACTOR(S) MUST COMPLY WITH ALL RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES, AND ORDINANCES.

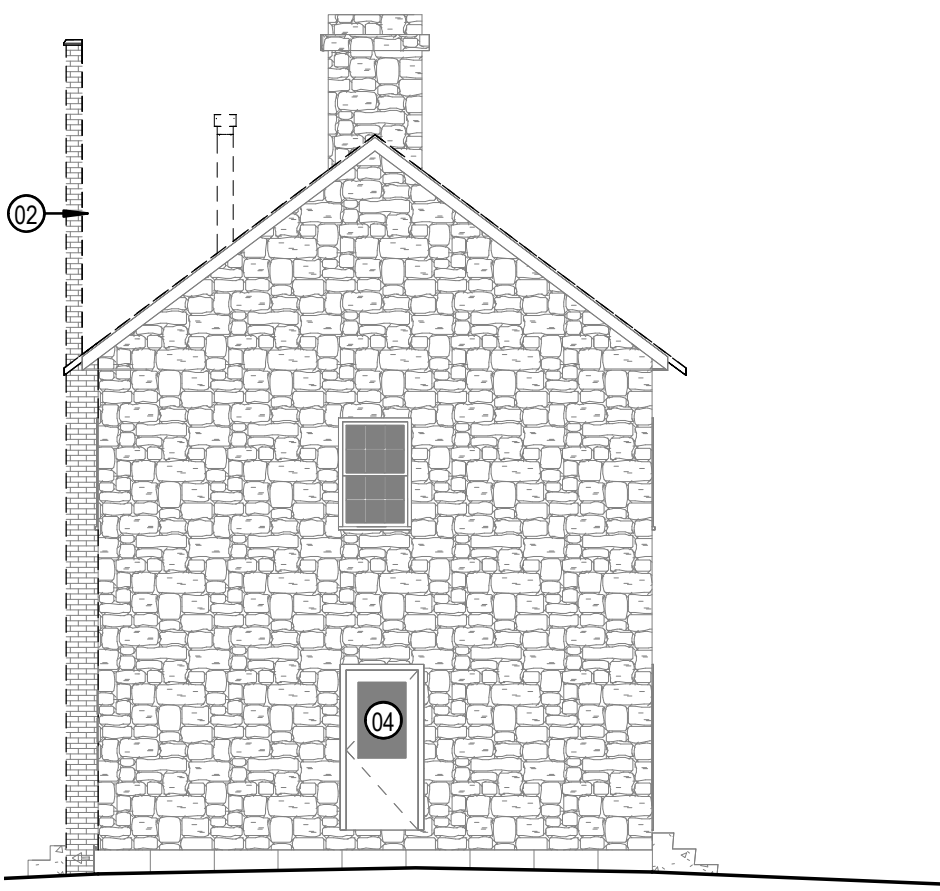


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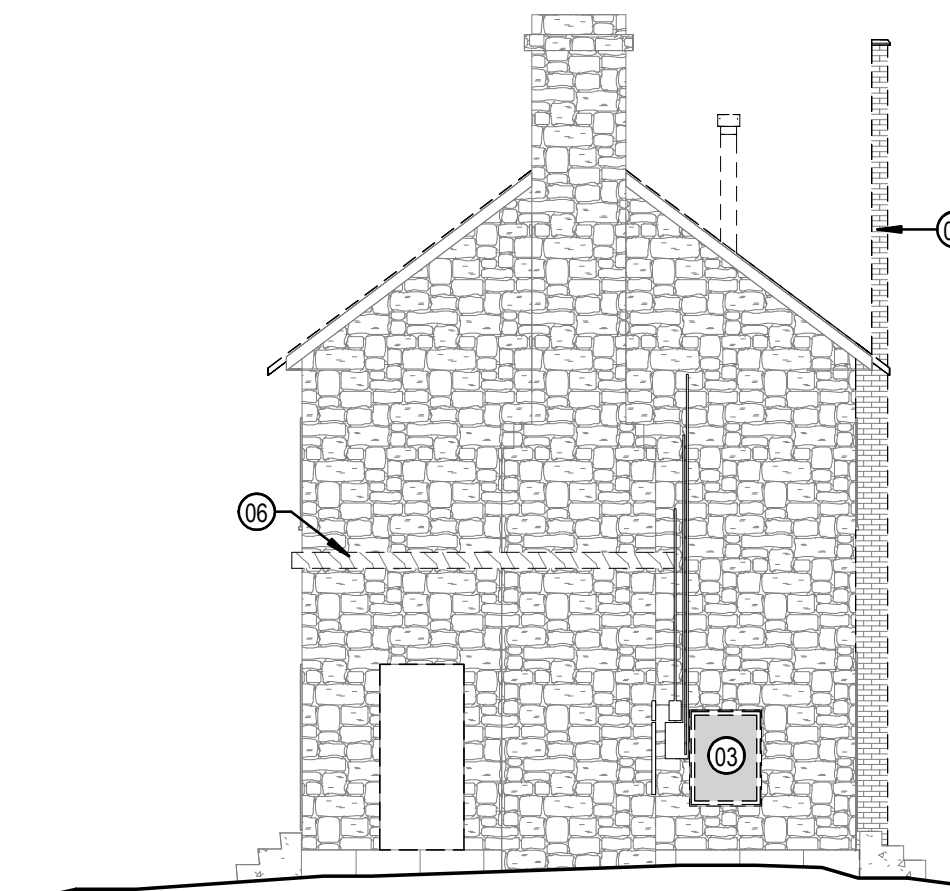
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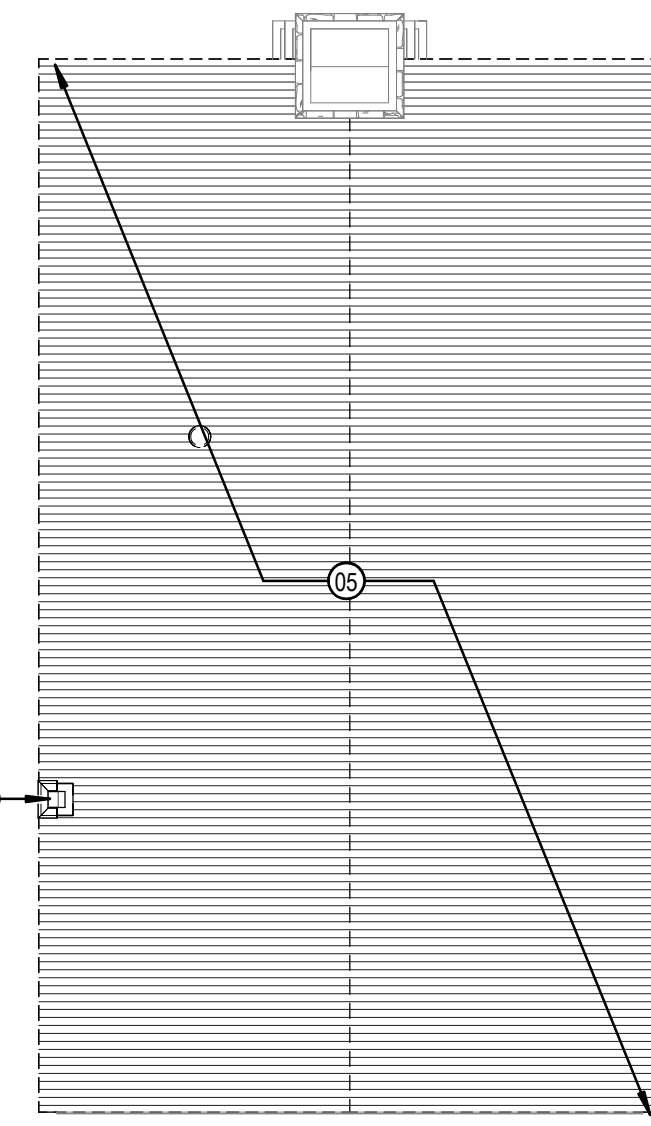
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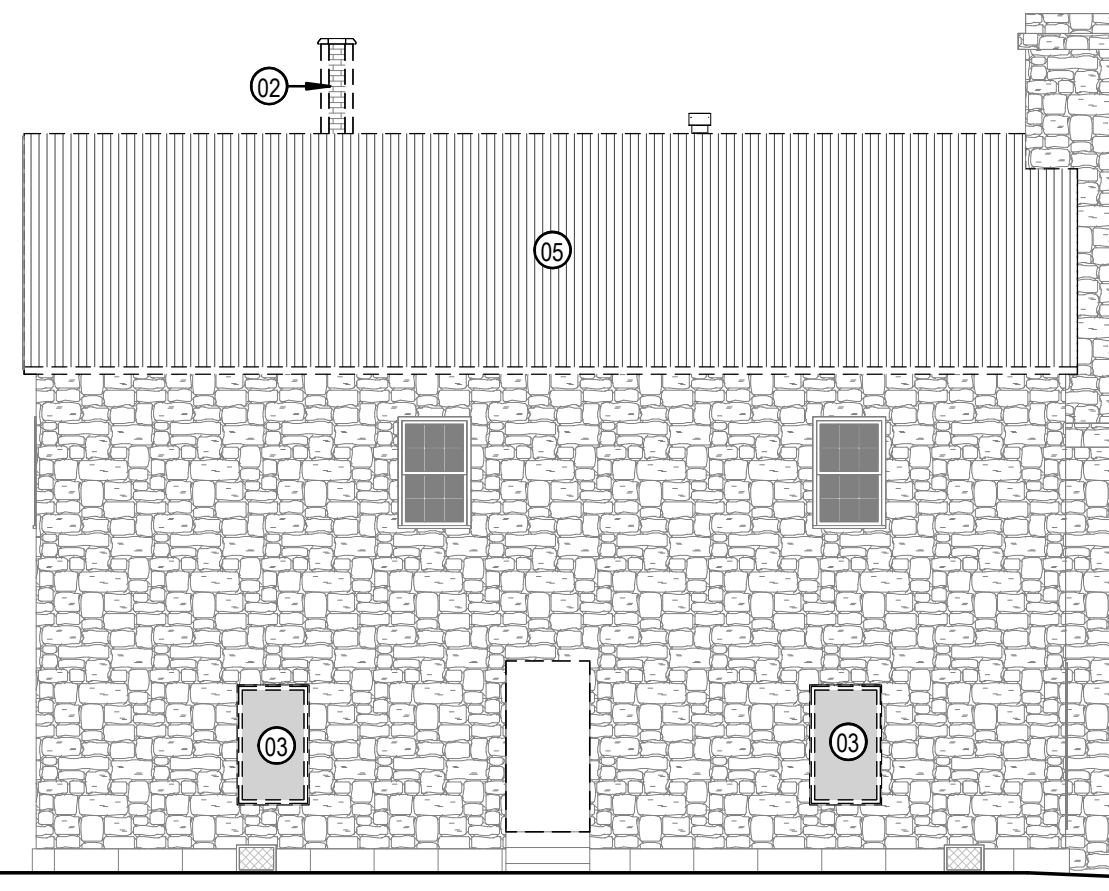
7 1877 COURTHOUSE-DEMOLITION-SOUTH ELEVATION
1/8" = 1'-0"



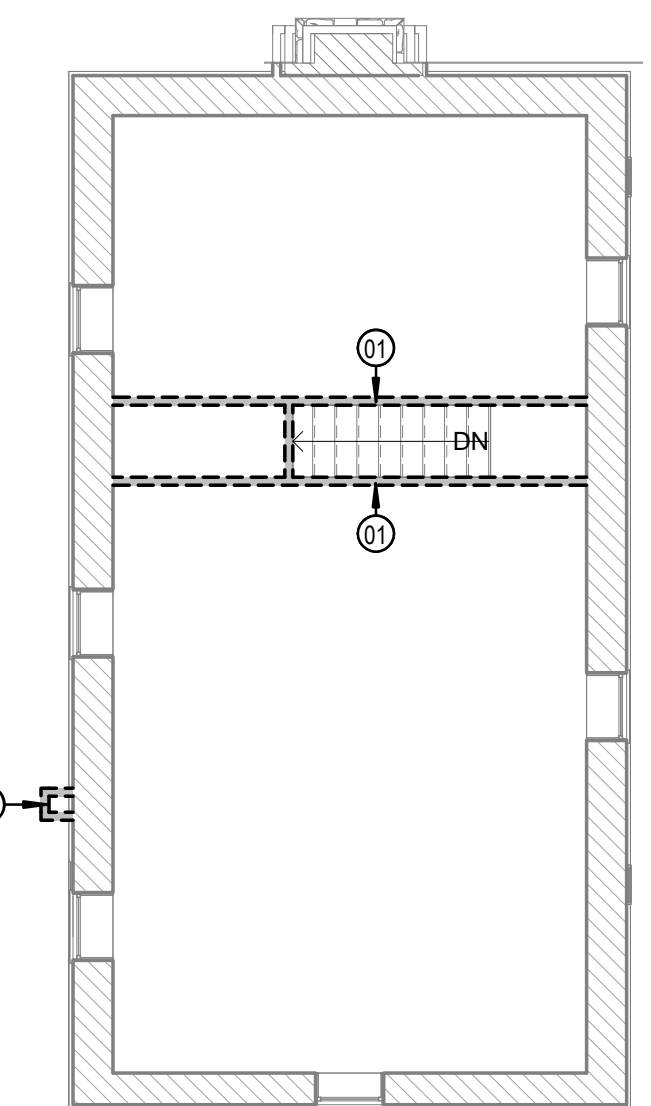
6 1877 COURTHOUSE-DEMOLITION-NORTH ELEVATION
1/8" = 1'-0"



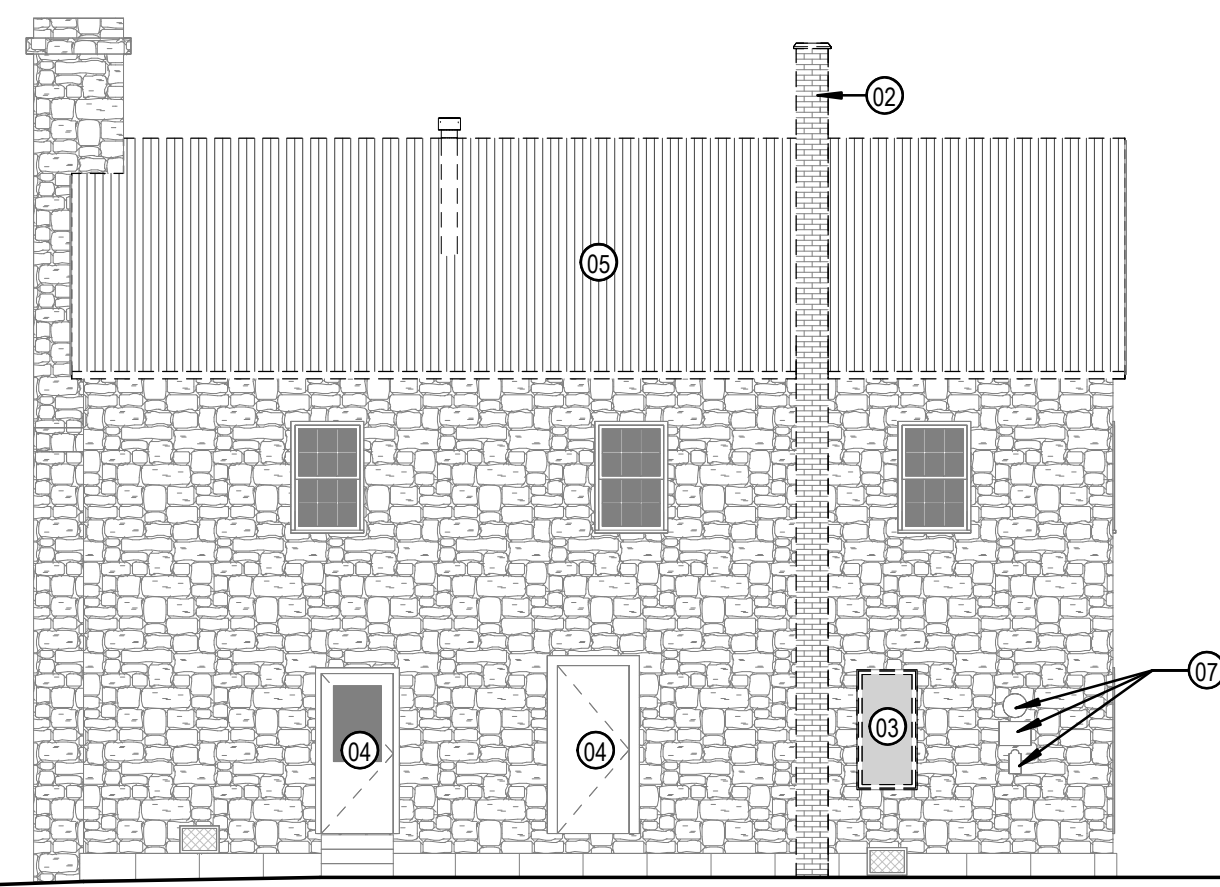
3 1877 COURTHOUSE-DEMOLITION-ROOF
1/8" = 1'-0"



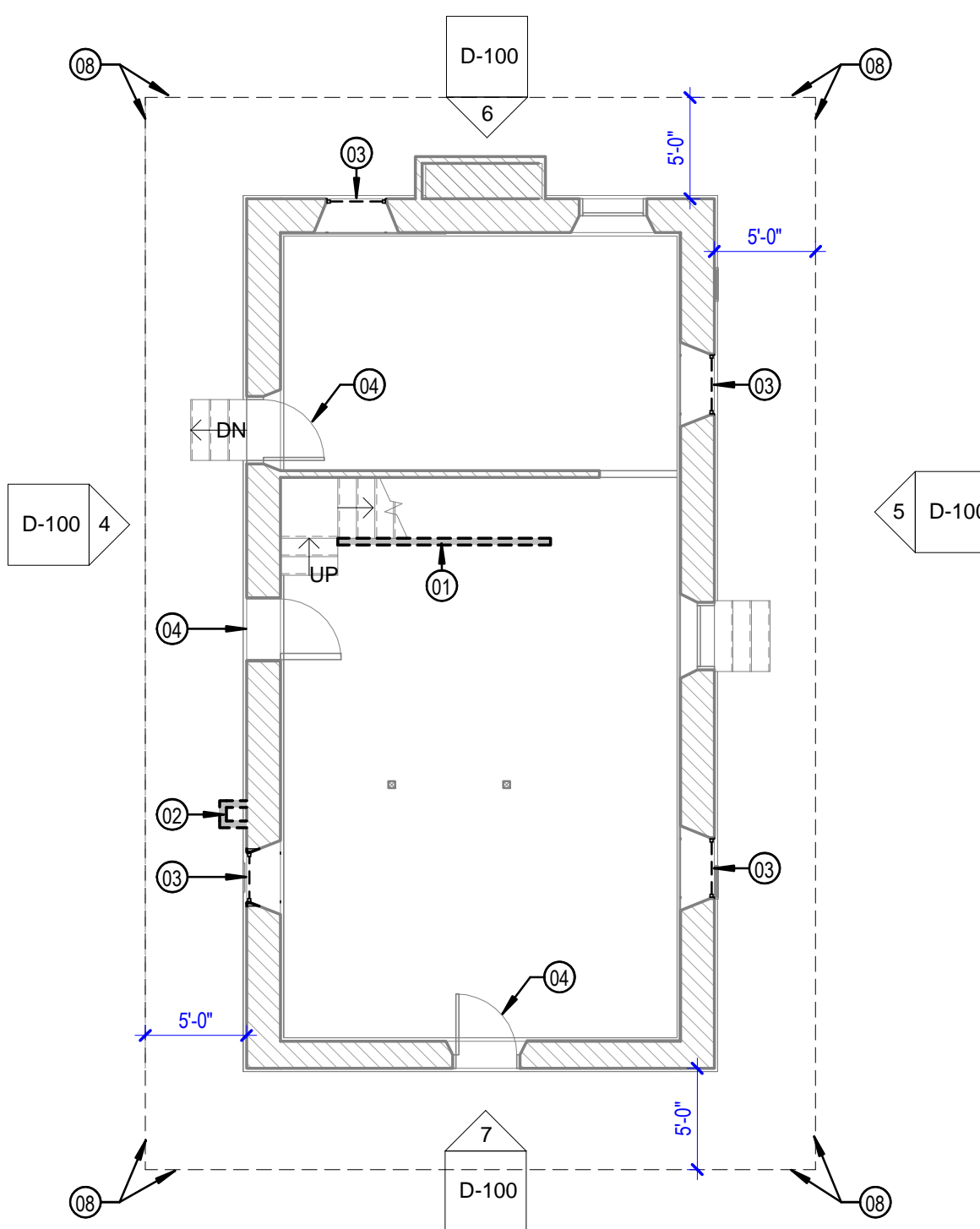
5 1877 COURTHOUSE-DEMOLITION-EAST ELEVATION
1/8" = 1'-0"



2 1877 COURTHOUSE-DEMOLITION-SECOND FLOOR
1/8" = 1'-0"



4 1877 COURTHOUSE-DEMOLITION-WEST ELEVATION
1/8" = 1'-0"



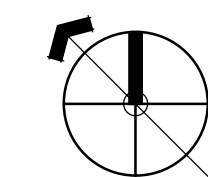
1 1877 COURTHOUSE-DEMOLITION-FIRST FLOOR
1/8" = 1'-0"

GENERAL NOTES

1. IMMEDIATELY ON DISCOVERY OF THE NEED FOR CLARIFICATION OF THE CONTRACT DOCUMENTS, SUBMIT A REQUEST FOR INFORMATION TO ARCHITECT.
2. THESE DOCUMENTS SHOULD NOT BE CONSIDERED AS A SURVEY OF EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN DOCUMENTS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
3. ELEMENTS NOTED WITHIN KEYNOTES ARE BASED UPON VISUAL OBSERVATIONS AT THE TIME OF SURVEY, CONTRACTOR TO VERIFY ANY ADDITIONAL DETERIORATION.
4. FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, & CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ALL DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
5. ALL DOOR AND WINDOWS THAT ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
6. DO NOT REMOVE BASE BOARDS OR OTHER WOODEN TRIM; EXCEPT DURING REPOINTING AND REPLASTERING WHERE NEEDED, PROTECT DURING CONSTRUCTION.

KEYNOTES

- 01 DEMO WOOD STUD WALL AFTER REHABILITATION WORK HAS BEEN COMPLETED; PREP AREA TO RECEIVE TEMPORARY STAIR RAIL
- 02 CAREFULLY DECONSTRUCT NON-ORIGINAL BRICK MASONRY CHIMNEY. VOID WITHIN WALL THAT RESULTS FROM THE REMOVAL OF THE CHIMNEY, SHALL BE FILLED WITH MATCHING STONE WITH A LIME-BASED MORTAR
- 03 DEMO NON-HISTORIC METAL FRAMED WINDOW. PREP OPENING TO RECEIVE REPLICA WOOD WINDOW.
- 04 PROTECT DOOR DURING CONSTRUCTION
- 05 DEMO METAL ROOF, WOOD UNDERLAYMENT AND INSULATION; WOOD RAFTERS IN GOOD CONDITION MAY REMAIN. DETERIORATED RAFTERS MAY REQUIRE REPLACEMENT OR SISTERING. CONTRACTOR TO DETERMINE IN THE FIELD.
- 06 CAREFULLY DEMO REMAINING SHED ROOF AND PREP STONE WALL FOR REPAIR
- 07 CAREFULLY REMOVE HISTORIC PLAQUES AND MARK DOWN EXACT LOCATION FOR RE-PLACEMENT AFTER REHABILITATION WORK IS COMPLETED
- 08 REMOVE ALL VEGETATION WITHIN DESIGNATED AREA AROUND THE BUILDING ENSURE THAT IT WILL NOT REGROW

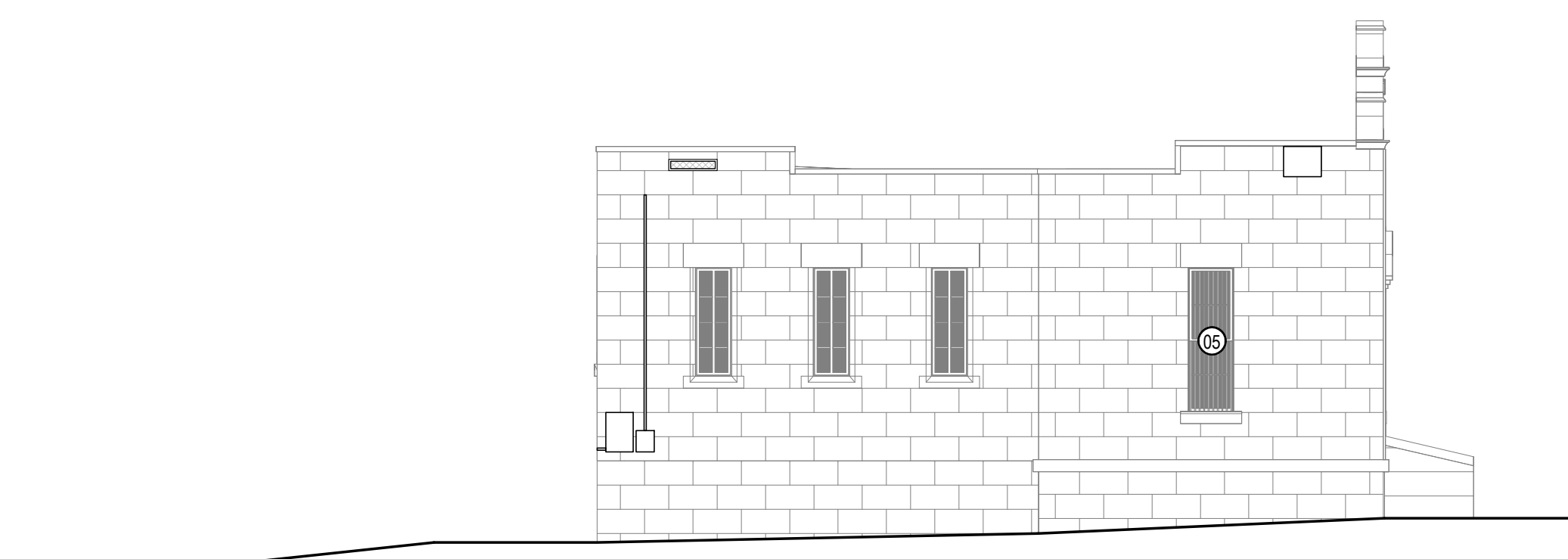


GENERAL NOTES

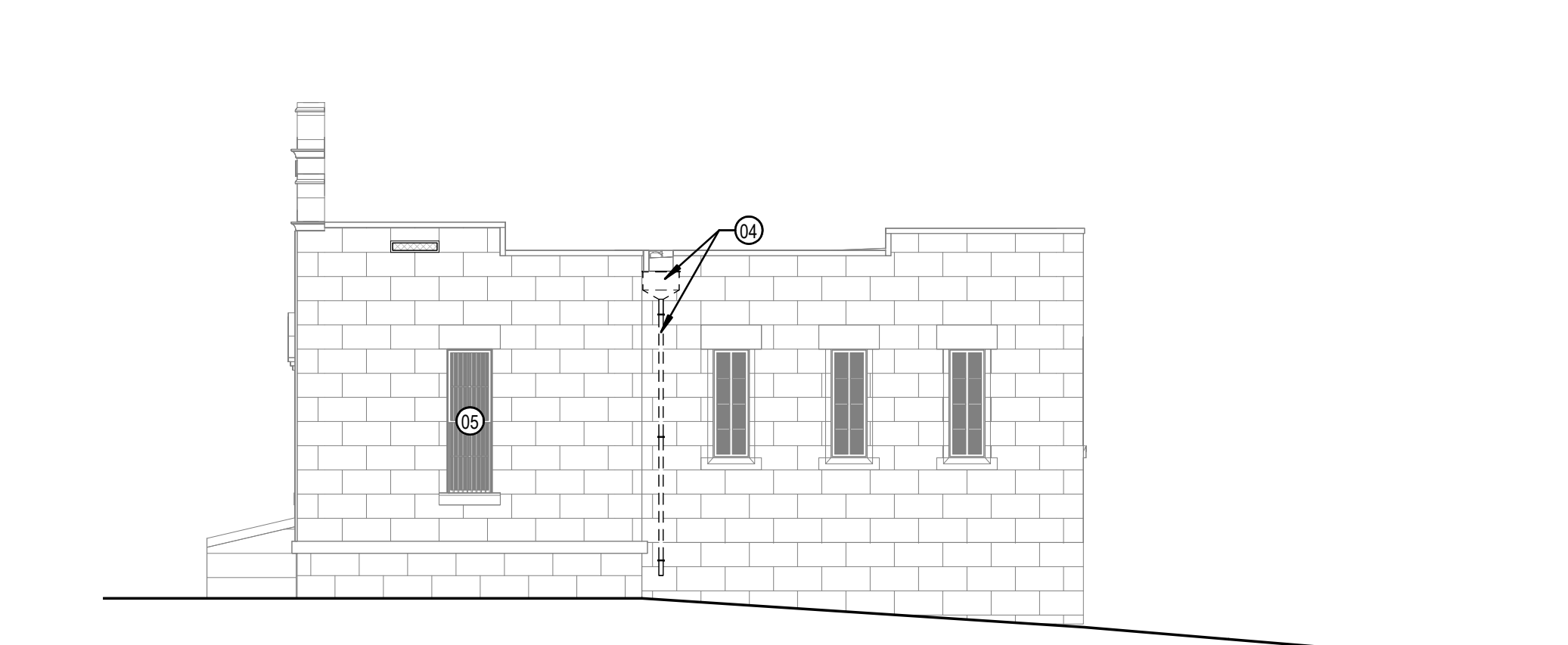
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4. FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, & CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ALL DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
5. ALL DOOR AND WINDOWS THAT ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
6. DO NOT REMOVE BASE BOARDS OR OTHER WOODEN TRIM; EXCEPT DURING REPOINTING AND REPLASTERING WHERE NEEDED, PROTECT DURING CONSTRUCTION.

KEYNOTES

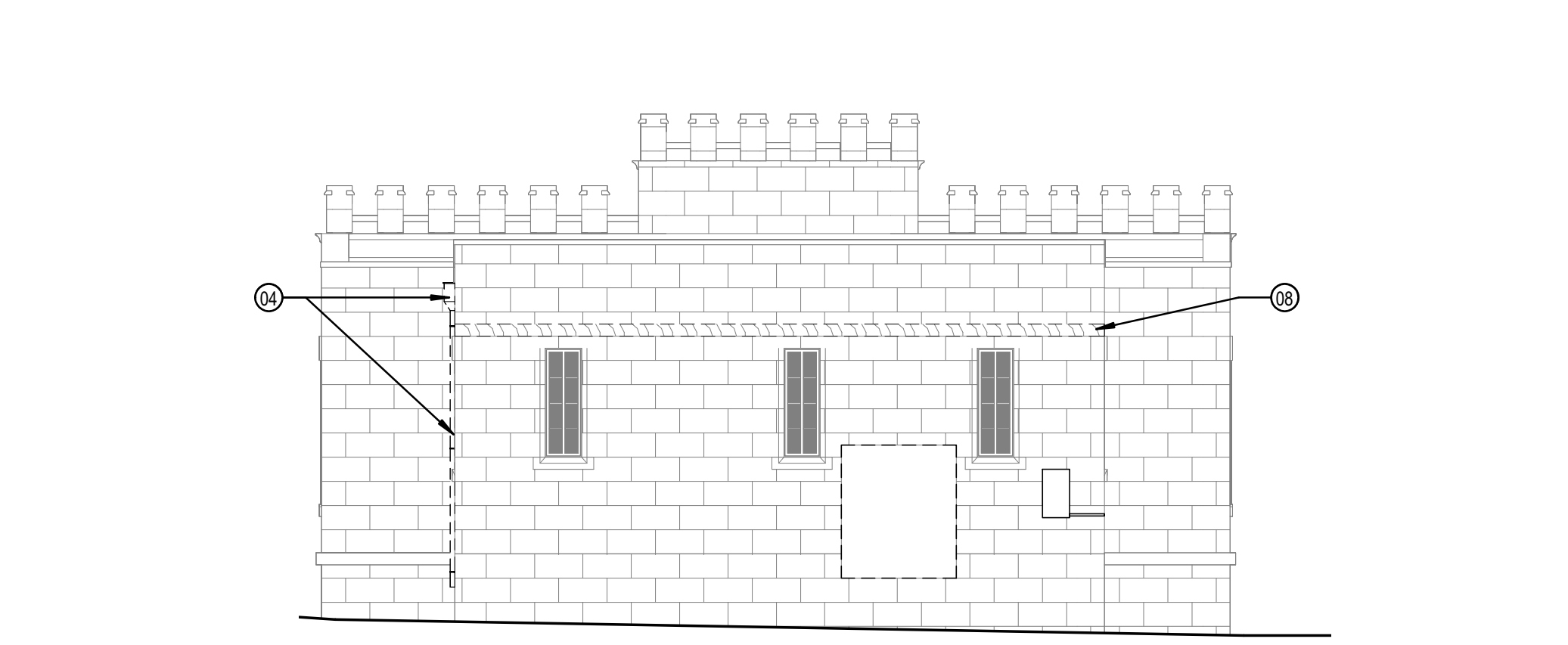
- 01 CAREFULLY REMOVE FLOOR BOARDS AND STORE WITHIN THE BUILDING FOR FUTURE RE-INSTALLATION. JOIST TO REMAIN INPLACE TO HELP STABILIZE WALLS.
- 02 CAREFULLY REMOVE DOOR AND STORE WITHIN THE BUILDING FOR FUTURE RESTORATION AND RE-INSTALLATION. PROTECT FRAME DURING CONSTRUCTION.
- 03 CAREFULLY REMOVE TEMPORARY PLYWOOD WALL AND DOOR WHEN REHABILITATION WORK IS TO START ON HISTORIC JAIL DOORS.
- 04 DEMO SCUPPER AND GUTTER.
- 05 CAREFULLY REMOVE PLYWOOD PROTECTION FROM WINDOWS ONLY WHEN REHAB TREATMENT IS TO COMMENCE.
- 06 CAREFULLY REMOVE HISTORIC PLAQUES AND MARK DOWN EXACT LOCATION FOR RE-PLACEMENT AFTER REHABILITATION WORK IS COMPLETED.
- 07 INSTALL 3/4 INCH PLYWOOD SHEETS TO PROTECT EXISTING CONCRETE FLOOR DURING CONSTRUCTION.
- 08 CAREFULLY DEMO REMAINING SHED ROOF AND PREP STONE WALL FOR REPAIR.
- 09 REMOVE ALL VEGETATION WITHIN DESIGNATED AREA AROUND THE BUILDING ENSURE THAT IT WILL NOT REGROW.



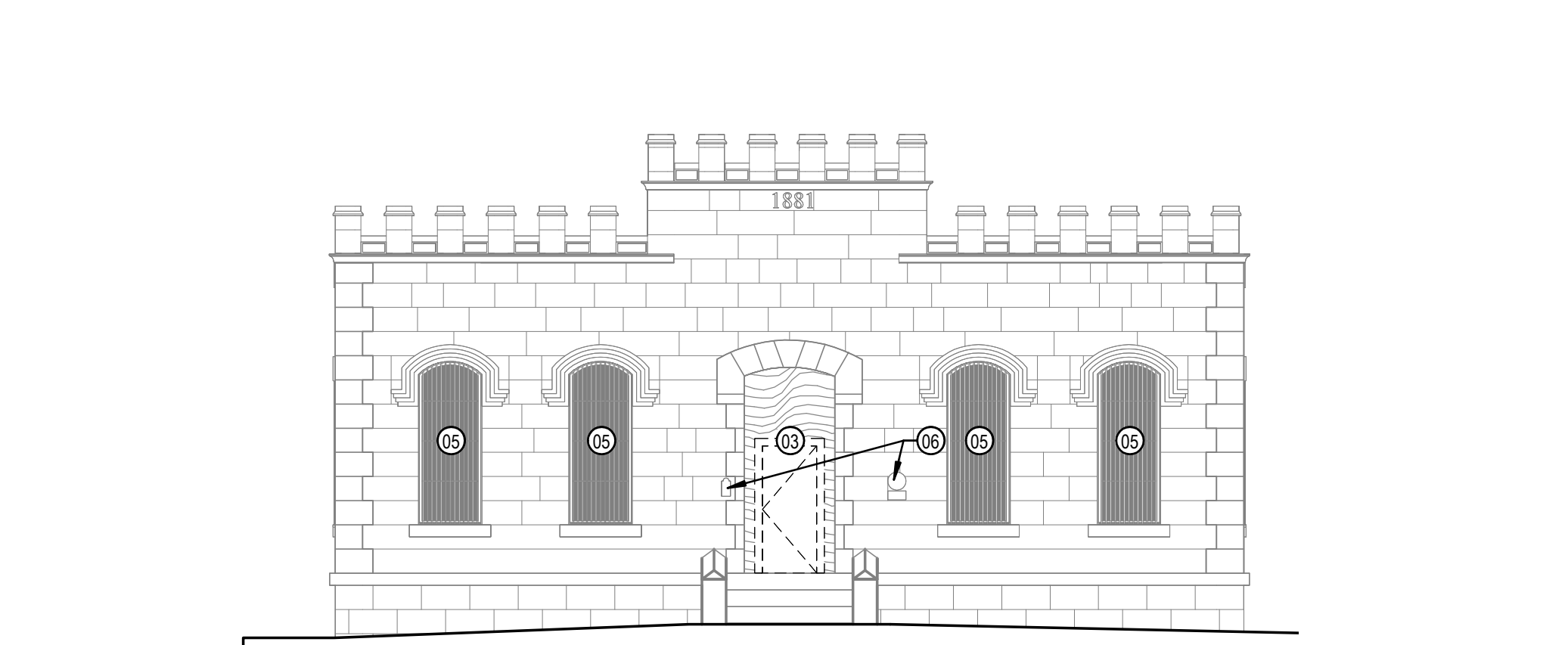
5 1881 JAIL-DEMOLITION-WEST ELEVATION
1/8" = 1'-0"



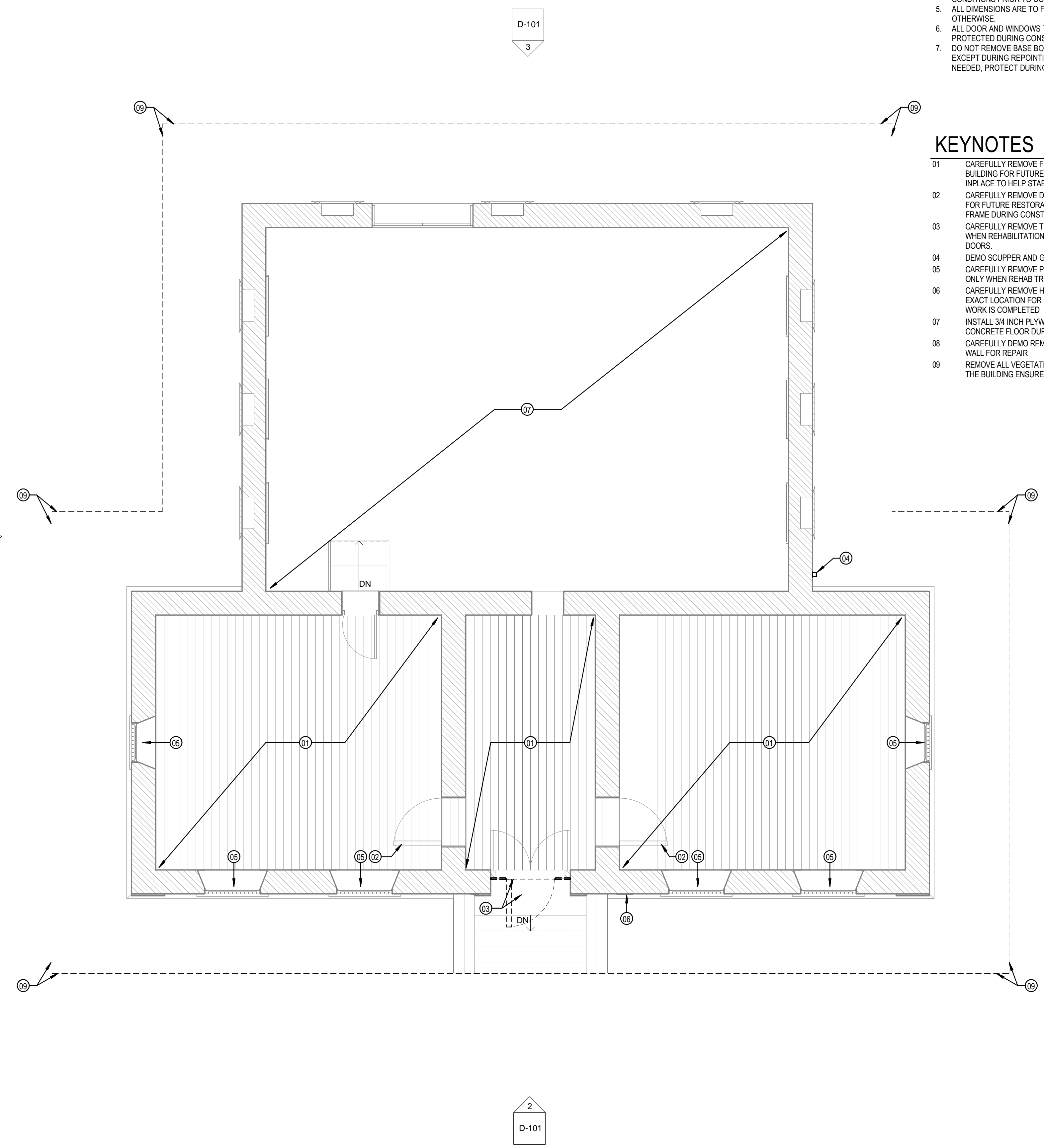
4 1881 JAIL-DEMOLITION-EAST ELEVATION
1/8" = 1'-0"



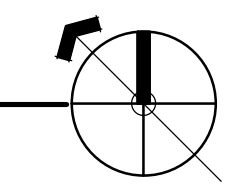
3 1881 JAIL-DEMOLITION-NORTH ELEVATION
1/8" = 1'-0"



2 1881 JAIL-DEMOLITION-SOUTH ELEVATION
1/8" = 1'-0"



1 1881 JAIL-DEMOLITION-FIRST FLOOR
1/4" = 1'-0"



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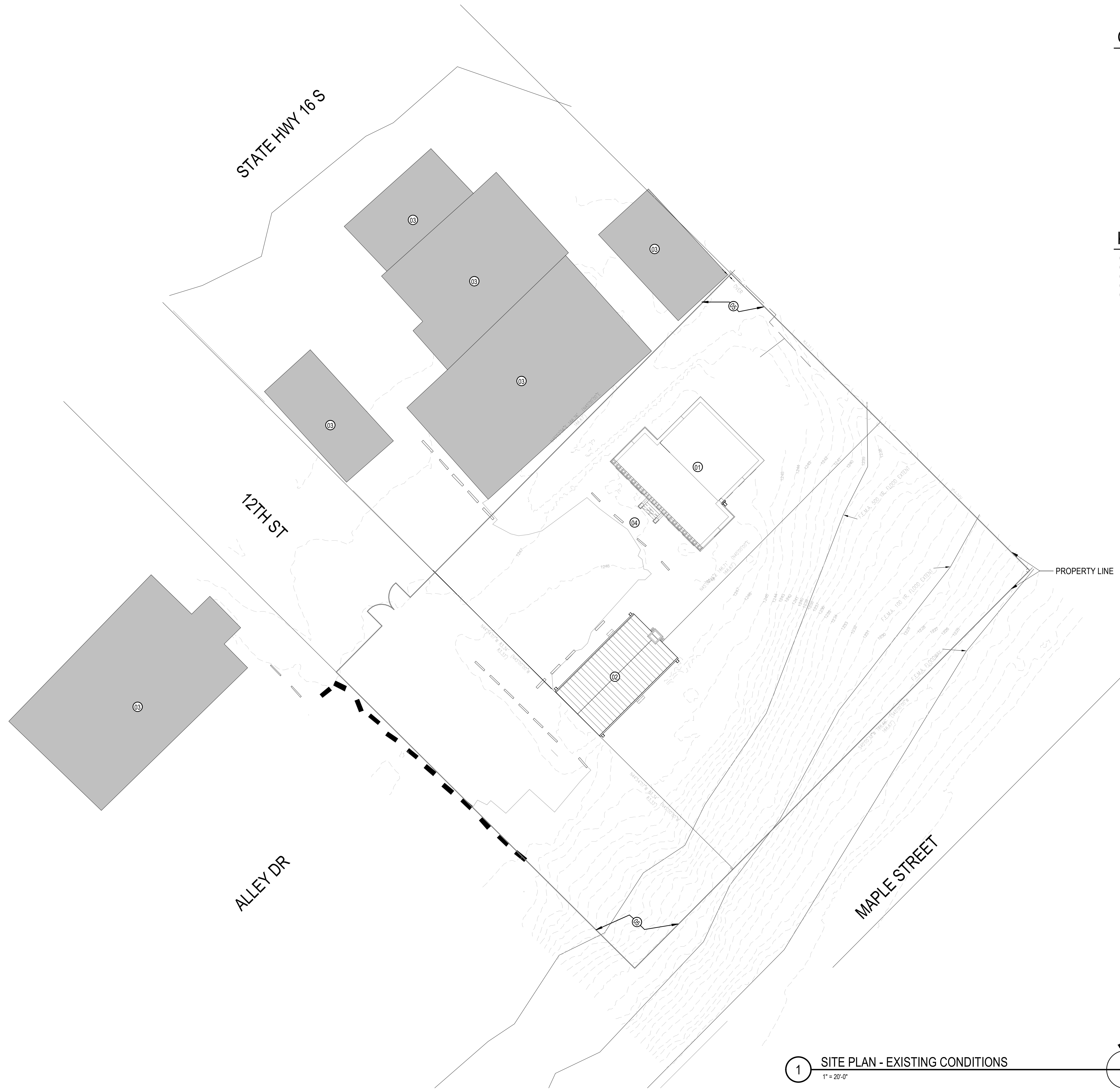
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SHEET TITLE: DEMOLITION PLANS - 1881 JAIL

PROJECT NO: 2301 A1

| REVISIONS | DATE |
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| 1 RE-ISSUE | 11/1/2024 |

SHEET NO:
D-101

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GENERAL NOTES

KEYNOTES

- 01 EXISTING HISTORIC JAIL
- 02 EXISTING HISTORIC COURTHOUSE
- 03 PRIVATELY OWNED STRUCTURES, NOT IN CONTRACT
- 04 EXISTING PARKING LOT
- 05 EXISTING CHAIN LINK FENCE

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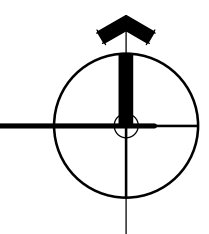
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PROJECT: BANDERA COUNTY VISITOR CENTER
SHEET TITLE: SITE PLAN

PROJECT NO: 2301 A1

| REVISIONS | DATE |
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| 1 RE-ISSUE | 11/1/2024 |

1 SITE PLAN - EXISTING CONDITIONS
1" = 20'-0"



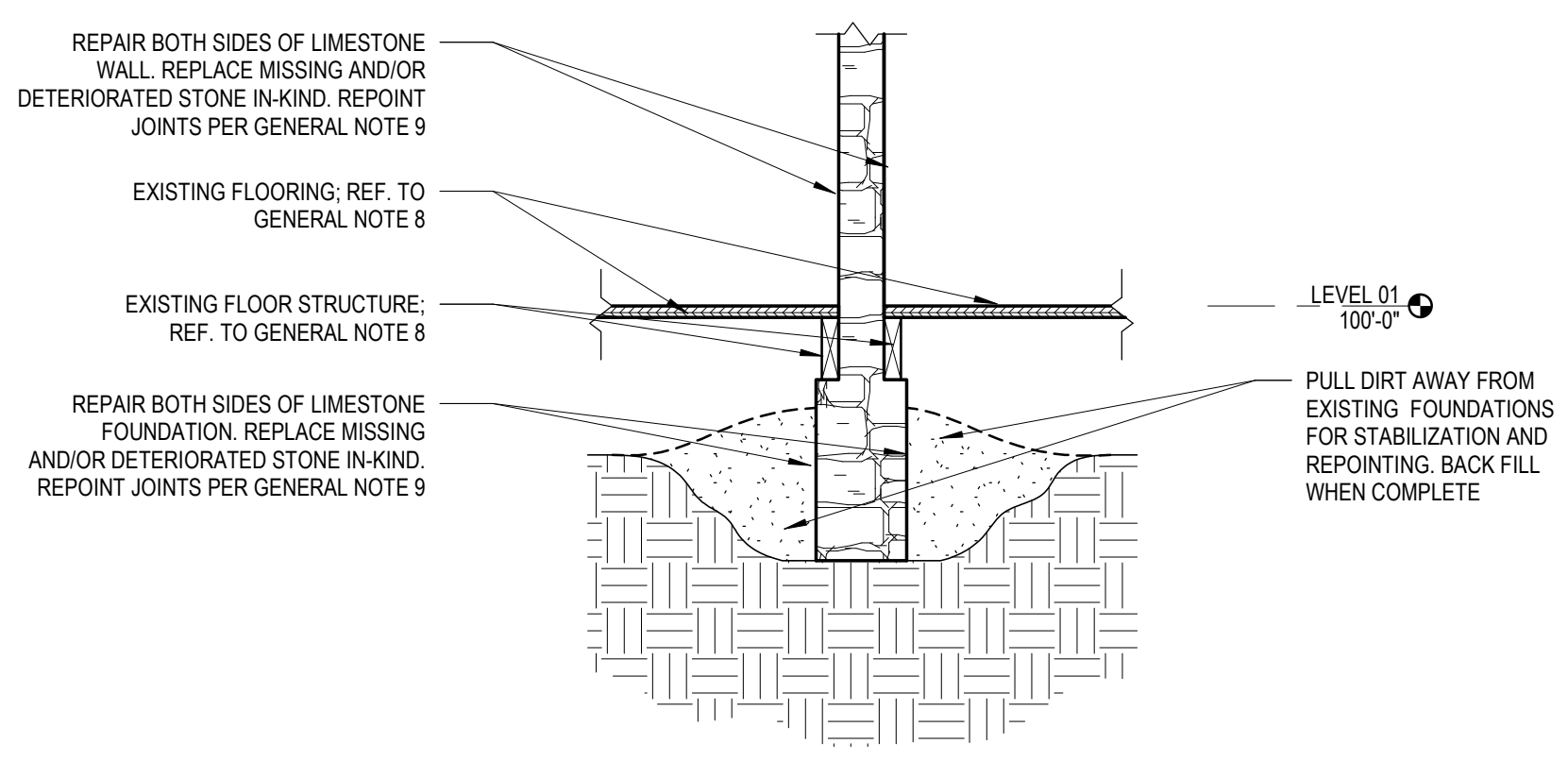
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GENERAL NOTES

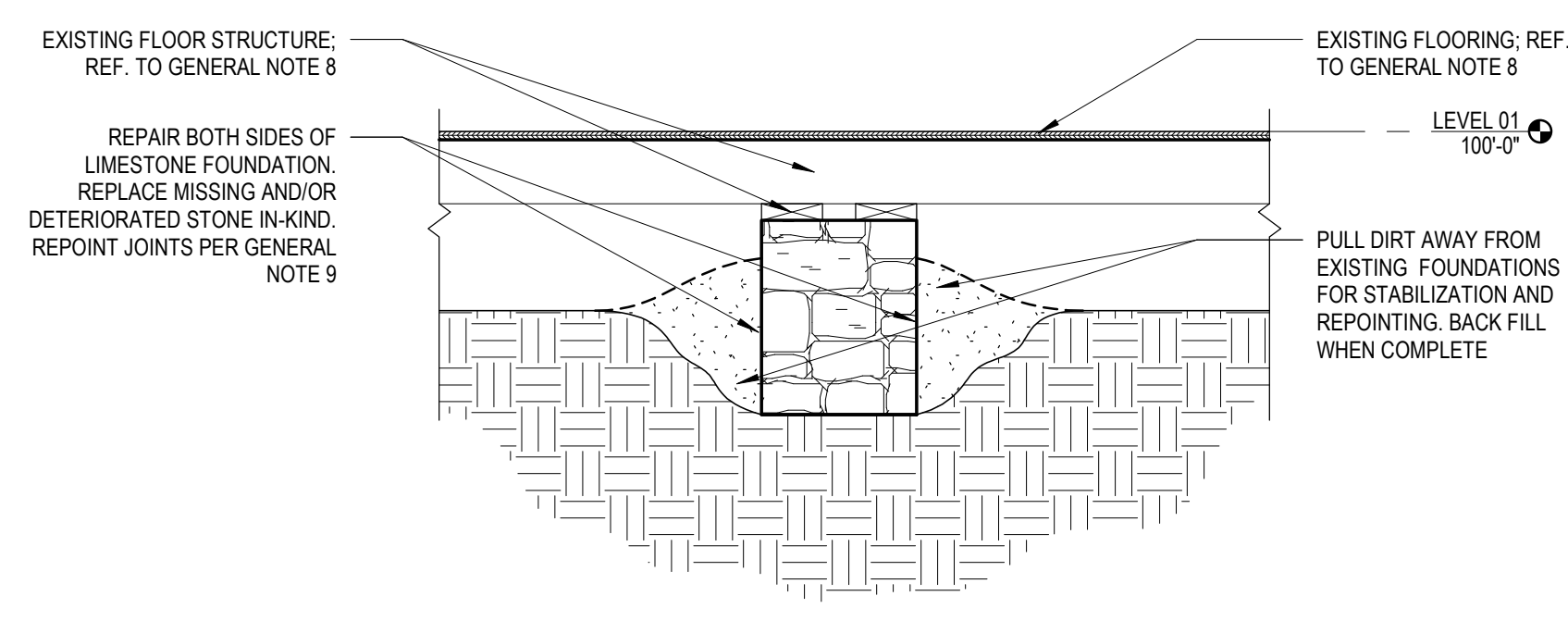
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3. FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, & CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
4. ALL DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
5. ALL DOOR AND WINDOWS THAT ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
6. DO NOT REMOVE BASE BOARDS OR OTHER WOODEN TRIM EXCEPT DURING REPOINTING AND REPLASTERING WHERE NEEDED. PROTECT DURING CONSTRUCTION.
7. SELECT AREAS OF FLOORING AND FLOOR STRUCTURE MAY NEED TO BE REMOVED DURING REPOINTING AND STABILIZATION OF FOUNDATION WALLS. CONTRACTOR WILL DETERMINE THE EXTENT OF REMOVALS NECESSARY UNDER MEANS AND METHODS. ANY FLOOR STRUCTURE REMOVED WILL BE DONE WITH SENSITIVITY SO IT HAS THE POTENTIAL FOR REUSE. REMOVED MATERIALS WILL BE LABELED AND CAREFULLY STORED WITHIN THE BUILDING.
8. REPOINT 100% OF EXTERIOR AND INTERIOR STONE WALLS. CAREFULLY REMOVE EXISTING MORTAR A MINIMUM OF 2 INCHES FROM FACE OF STONE.
9. REPOINTING MORTAR TO CONSIST OF 4 PARTS BUFF COLORED RIVER SAND, 1 PART LIME, 1/4 PART PORTLAND CEMENT. SOME PORTIONS OF WALL MAY NEED TO BE DISASSEMBLED, SHORED, AND REASSEMBLED USING SAME OR LIKE STONE. ELEVATION SHEETS INDICATE SOME OF THESE AREAS. CONTRACTOR WILL DETERMINE IF ADDITIONAL ARE NEEDED.
10. PROVIDE A TEMPORARY POWER IN EACH BUILDING.
11. PROVIDE A BUCKETLESS PORTABLE COMMERCIAL GRADE DEHUMIDIFIER FOR EACH BUILDING.
12. ALL VISIBLE EXPOSED WOOD SURFACES MUST BE PAINTED TO MATCH EXISTING SURFACE COLOR. PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL. REFER TO SPECS FOR MORE INFO.

KEYNOTES

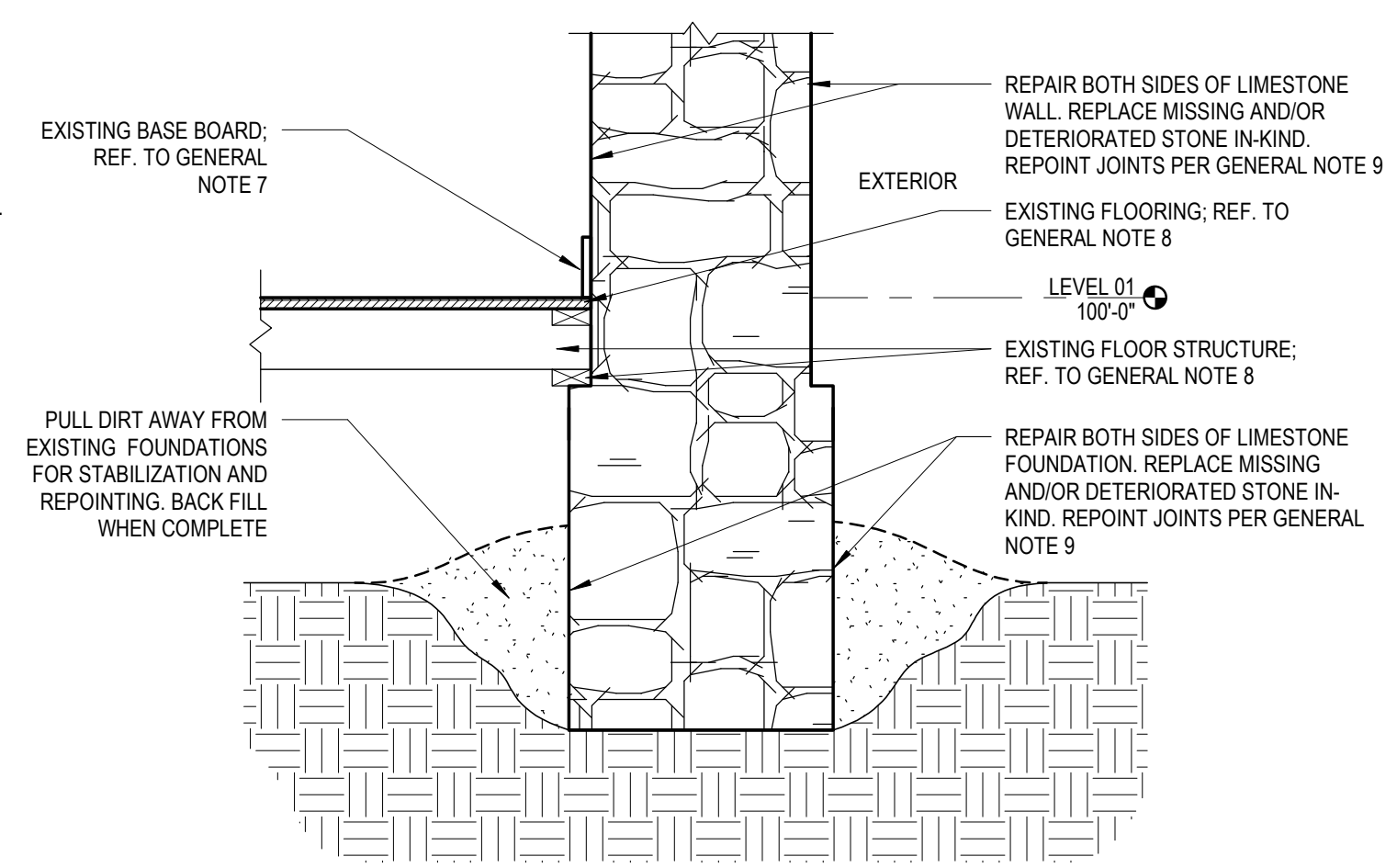
- 01 REPAIR AND REPOINT BOTH SIDES OF EXISTING LIMESTONE FOUNDATION TO BOTTOM OF FOUNDATION OR 3'-0" MAX. BELOW GRADE. REPOINTING SHOULD BE DONE IN NO MORE OF 5'-0" SECTIONS AT A TIME.
- 02 CAREFULLY REMOVE ALL WOOD FRAMING; SALVAGE ALL ORIGINAL WOOD THAT REMAINS IN GOOD CONDITION AND STORE FOR REUSE.
- 03 REMOVE DEBRIS FROM CRAWL SPACE. REMOVE SOIL TO EXPOSE SIDES OF LIMESTONE FOOTINGS, AND REPOINT FACES OF FOOTINGS.
- 04 EXISTING STONE FOOTING; REPAIR AND REPOINT TO BOTTOM OF FOUNDATION OF 4'-0" MAX.
- 05 REPAIR AND REFINISH METAL GRILLE; REPLACE IN-KIND WHERE NEEDED.
- 06 GALVALUME 6" DOWNSPOUT TO MATCH GUTTER.
- 07 TYP. PRECAST CONCRETE SPLASH BLOCK 24"Lx10"Wx3"H AT BASE OF DOWNSPOUT.
- 08 REPOINT WALL; REFER TO GENERAL NOTES 9,10,11.
- 09 BUILD TEMPORARY RAIL UP TO SECOND FLOOR.
- 10 PATCH / REPAIR CONCRETE STAIR AS NEEDED.
- 11 REPOINT STONE CHIMNEY'S FIRE BOX AND HEARTH; REFER TO GENERAL NOTES 9,10,11.
- 12 SECURE OPENING WITH 3/4" PRESSURE TREATED PLYWOOD FRAME AND PAINT EXTERIOR FACE WITH SEMI GLOSS PAINT TO MATCH DOORS.



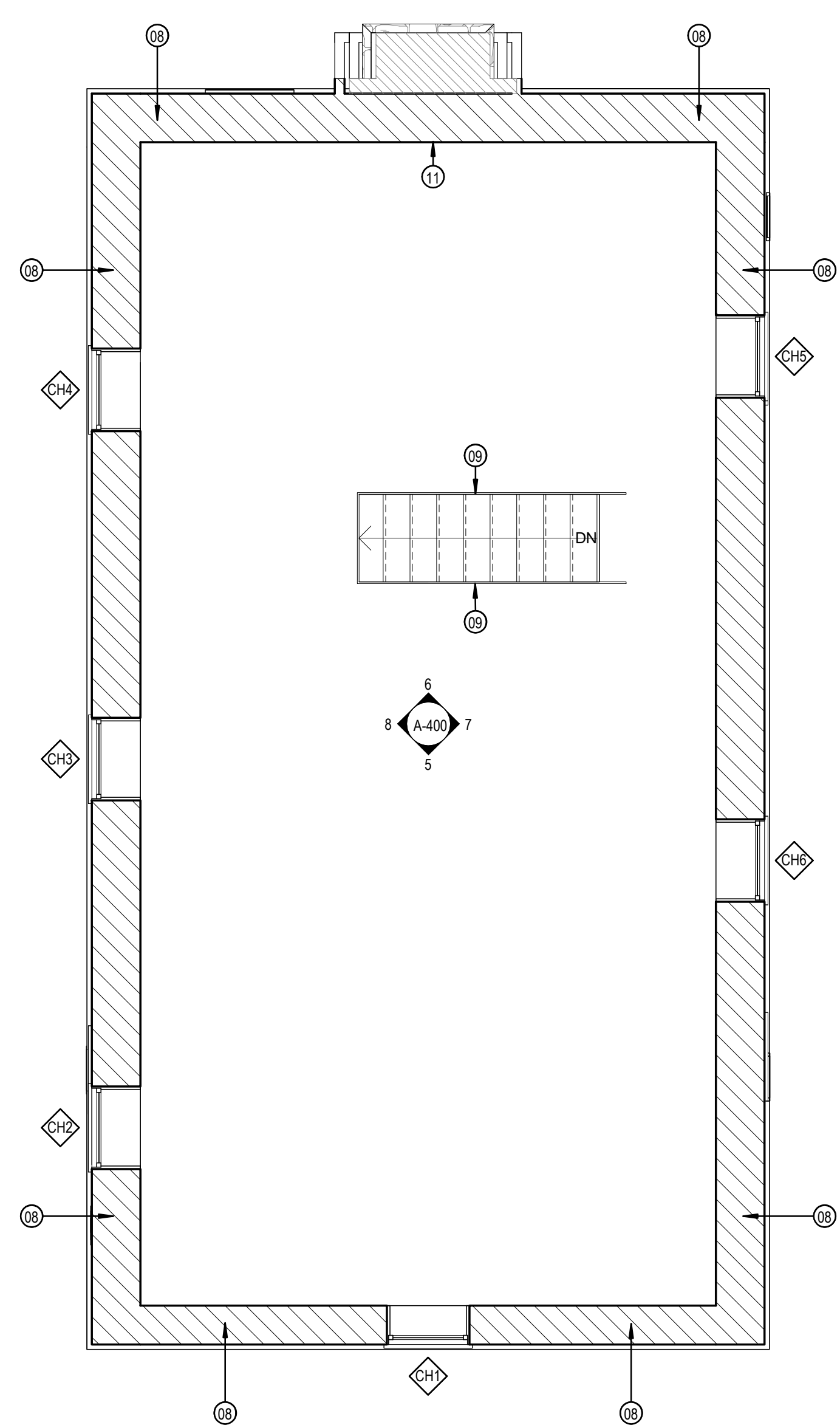
6 SECTION DETAIL
3/4" = 1'-0"



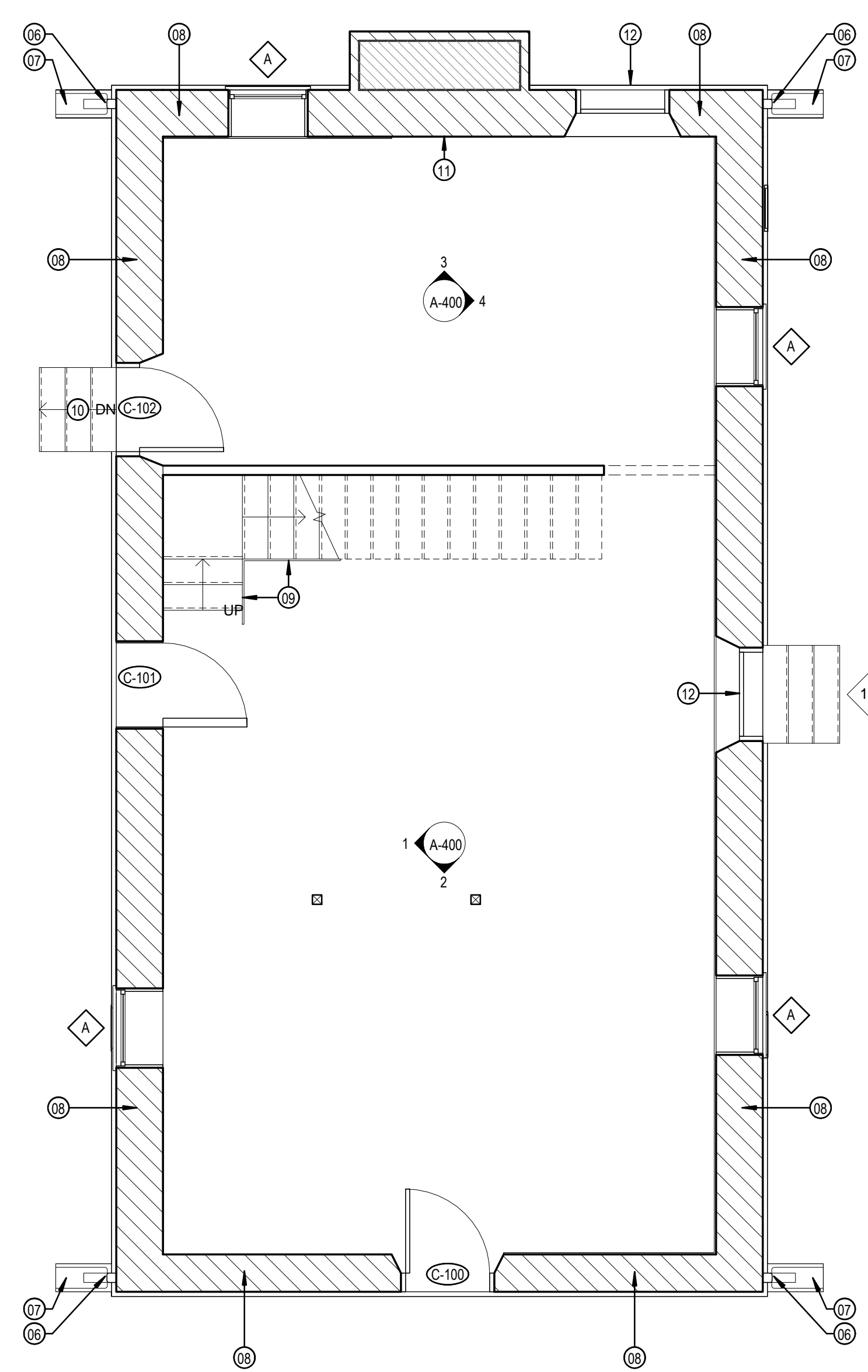
5 SECTION DETAIL
3/4" = 1'-0"



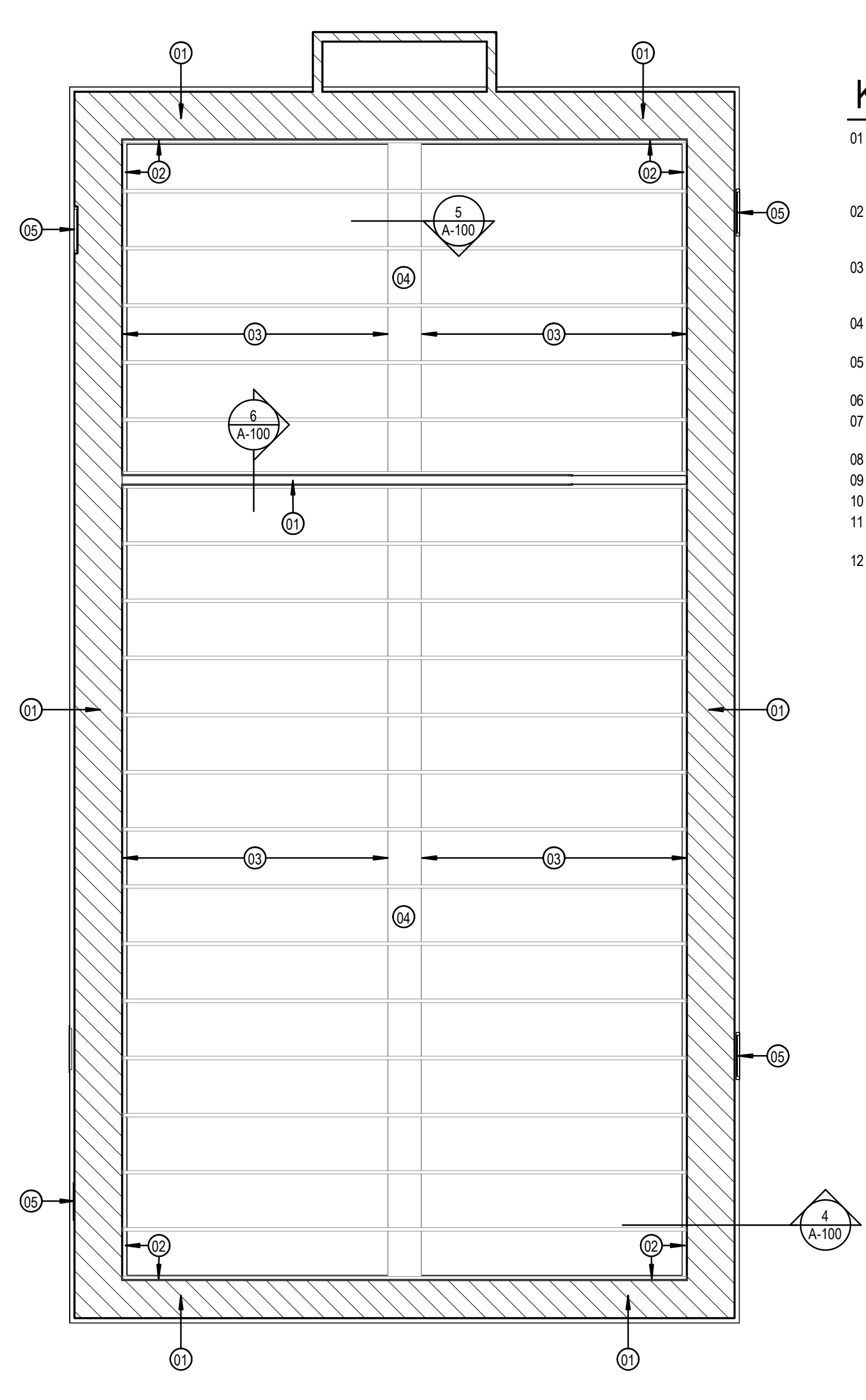
4 SECTION DETAIL
3/4" = 1'-0"



3 1877 COURTHOUSE-REHABILITATION-SECOND FLOOR
1/4" = 1'-0"

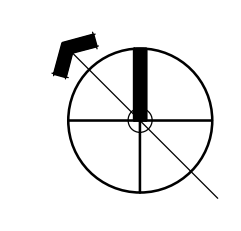


2 1877 COURTHOUSE-REHABILITATION-FIRST FLOOR
1/4" = 1'-0"



1 1877 COURTHOUSE-REHABILITATION-FOUNDATION PLAN
1/4" = 1'-0"

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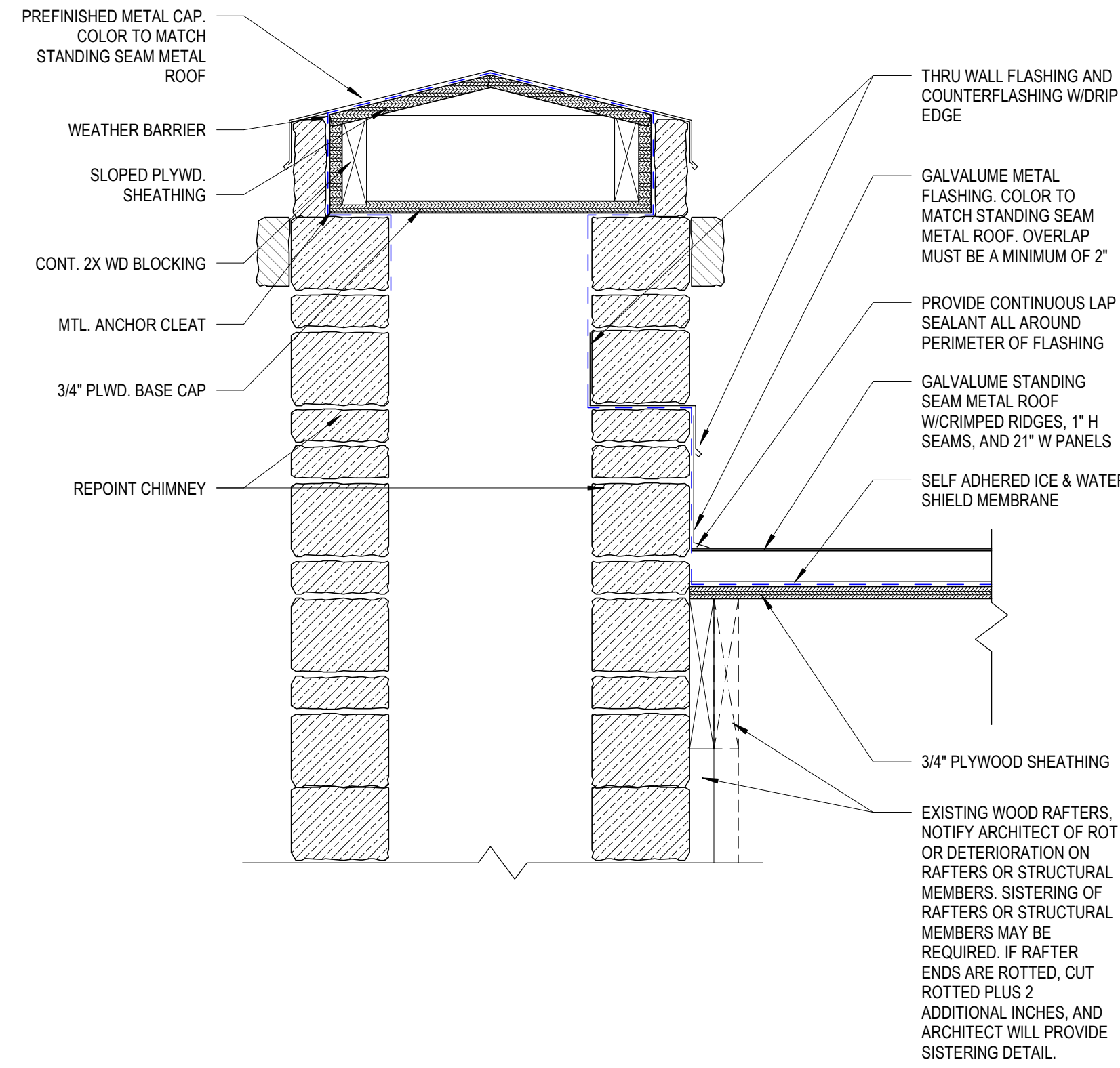


PROJECT: BANDERA COUNTY VISITOR CENTER
SHEET TITLE: REHABILITATION PLANS - 1877 COURTHOUSE

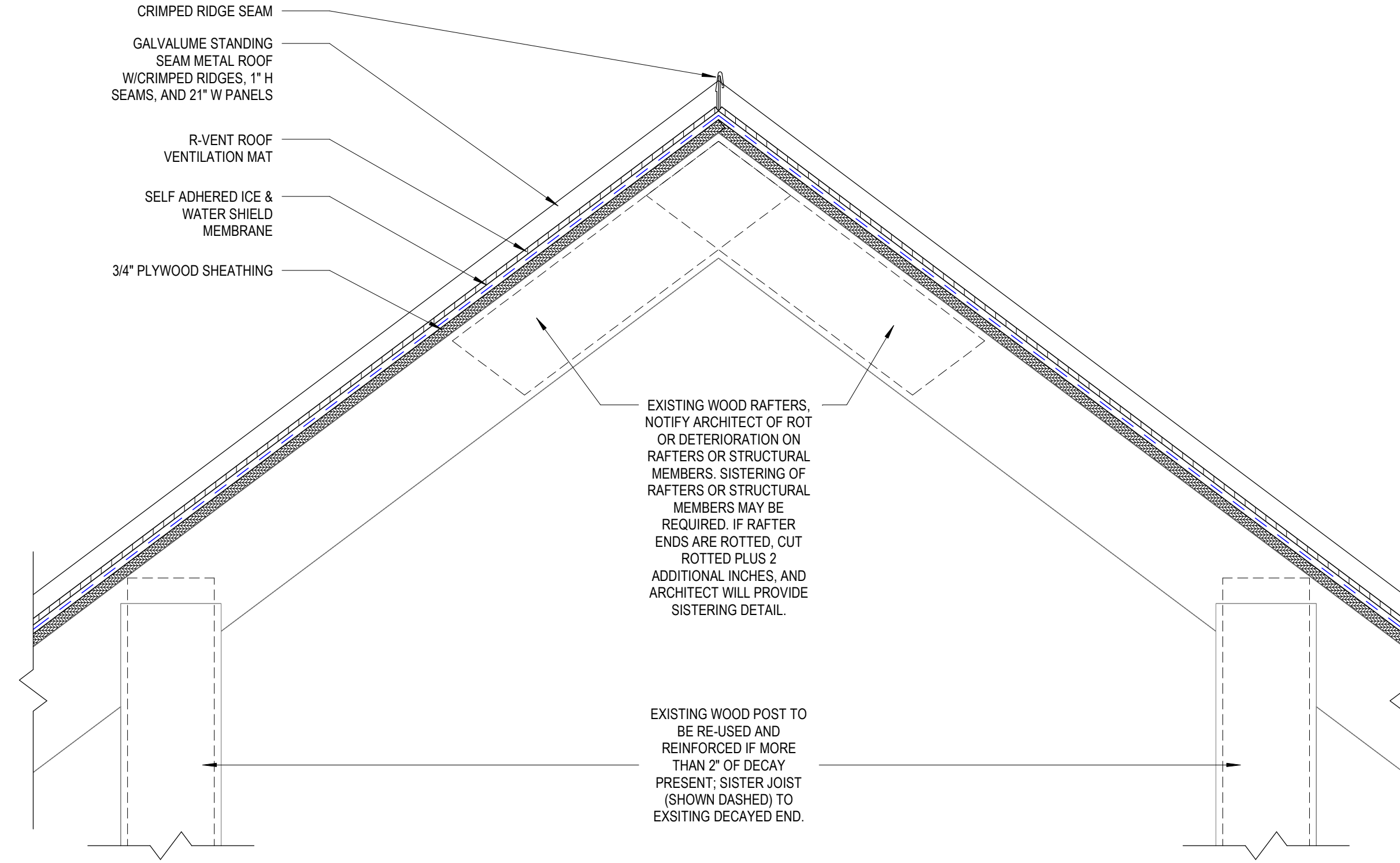
PROJECT NO: 2301 A1

REVISIONS DATE
1 RE-ISSUE 11/1/2024

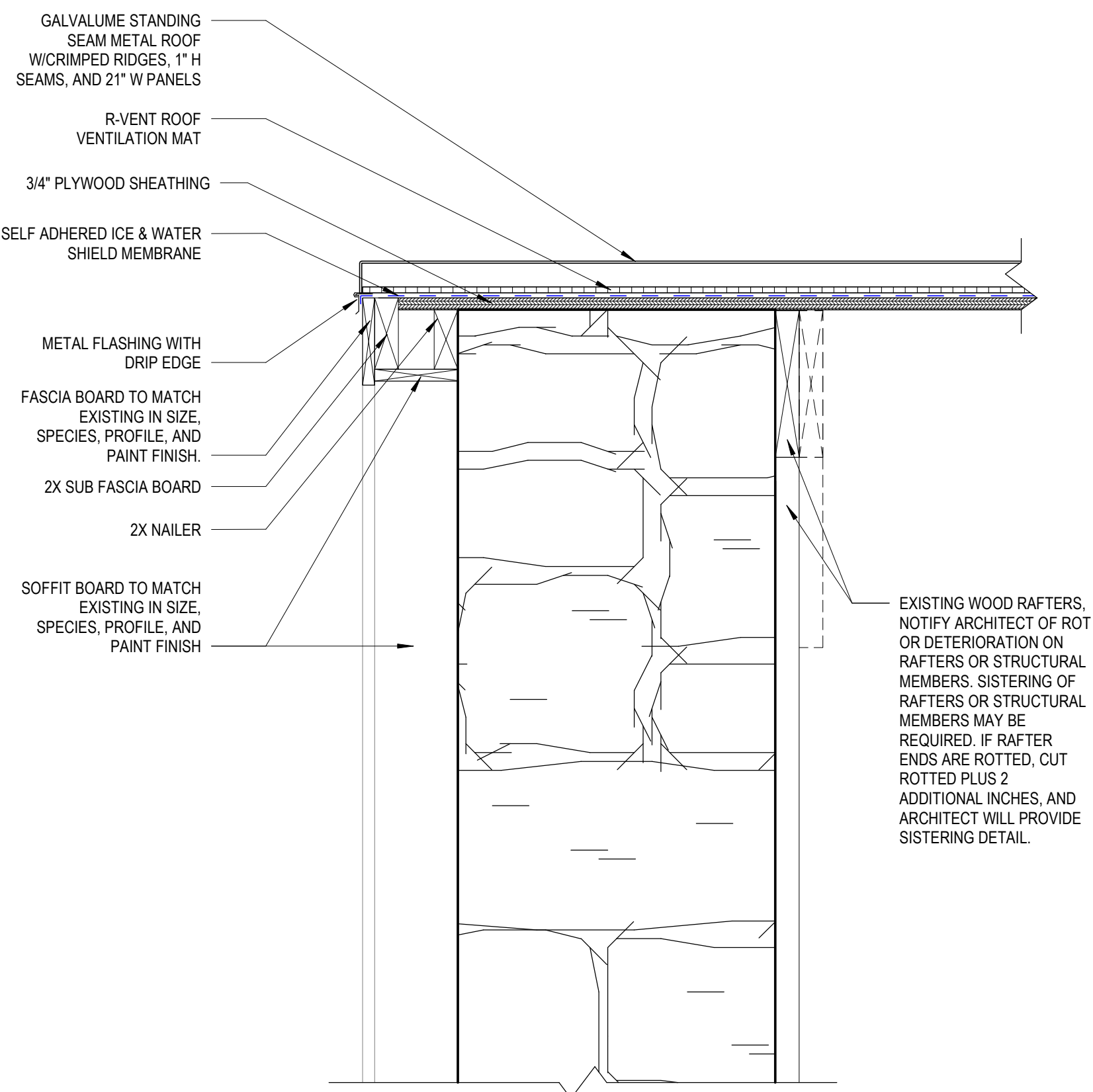
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A-100



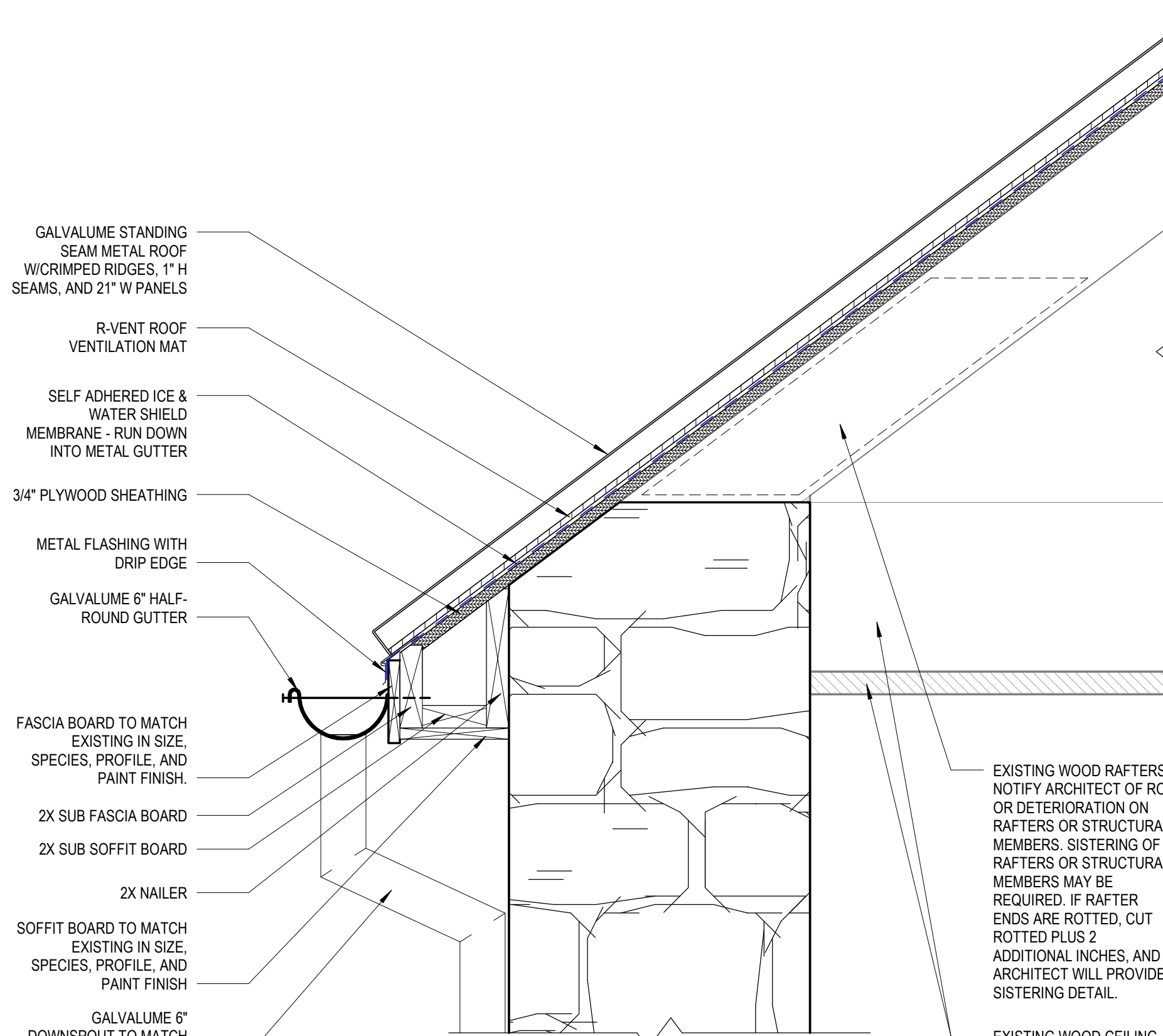
5 SECTION DETAIL
1 1/2" = 1'-0"



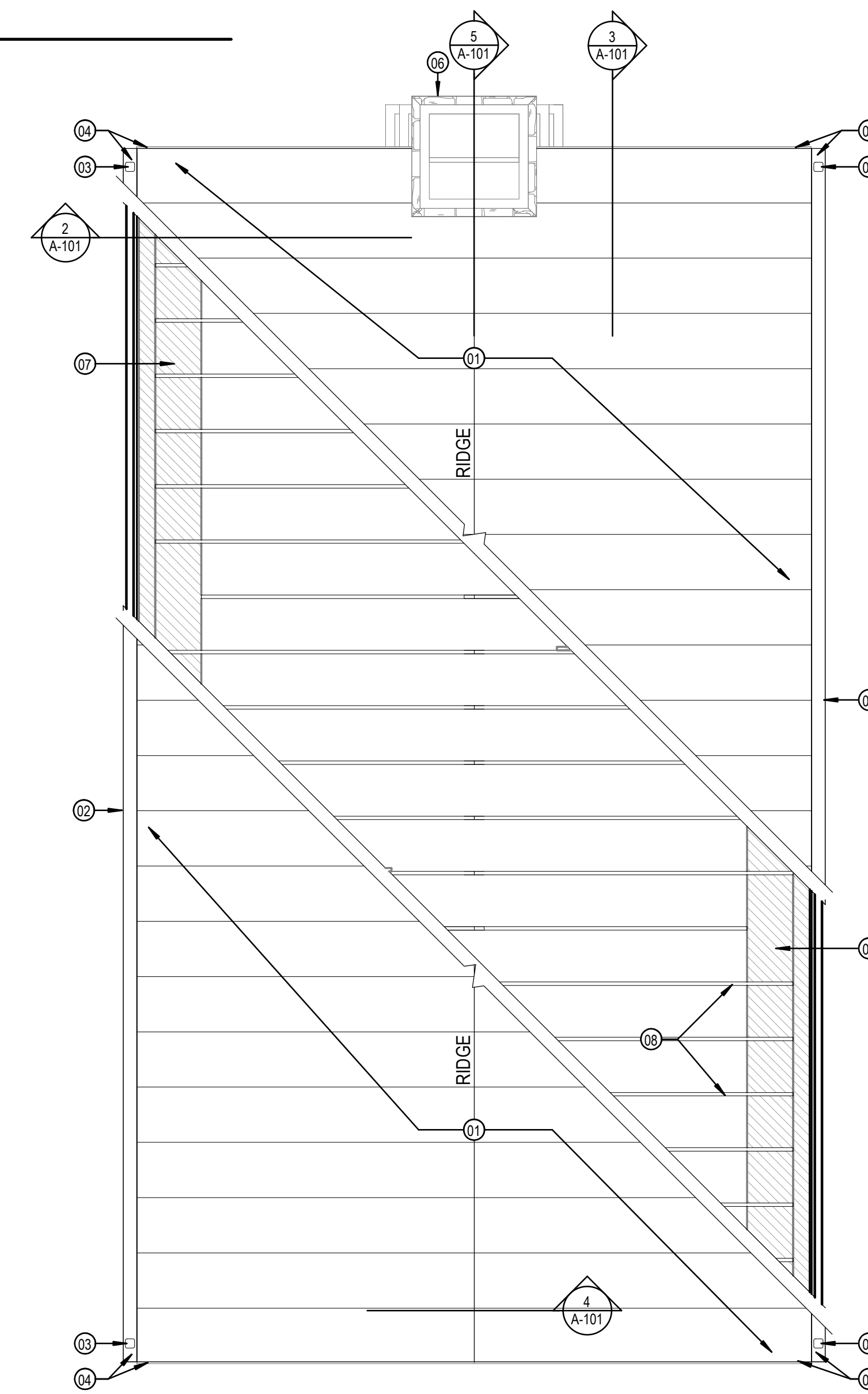
4 SECTION DETAIL
1 1/2" = 1'-0"



3 SECTION DETAIL
1 1/2" = 1'-0"



2 SECTION DETAIL
1 1/2" = 1'-0"



1 1877 COURTHOUSE-REHABILITATION-ROOF
1/4" = 1'-0"

GENERAL NOTES

1. IMMEDIATELY ON DISCOVERY OF THE NEED FOR CLARIFICATION OF THE CONTRACT DOCUMENTS, SUBMIT A REQUEST FOR INFORMATION TO ARCHITECT.
2. THESE DOCUMENTS SHOULD NOT BE CONSIDERED AS A SURVEY OF EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN DOCUMENTS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
3. ELEMENTS NOTED WITHIN KEYNOTES ARE BASED UPON VISUAL OBSERVATIONS AT THE TIME OF SURVEY, CONTRACTOR TO VERIFY ANY ADDITIONAL SUBSEQUENT DAMAGE THAT MAY HAVE OCCURRED.
4. FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, & CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
5. ALL DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
6. ALL ROOF FLASHING TO BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
7. ALL ROOF GUTTERS SHALL HAVE A CONTINUOUS SLOPE OF AT LEAST 1/4" PER 10 FT GUTTER LENGTH.
8. NEW ROOF SHALL BE A GALVALUME STANDING SEAM METAL ROOF W/CRIMPED RIDGES, 1" H SEAMS, AND 21" W PANELS.

KEYNOTES

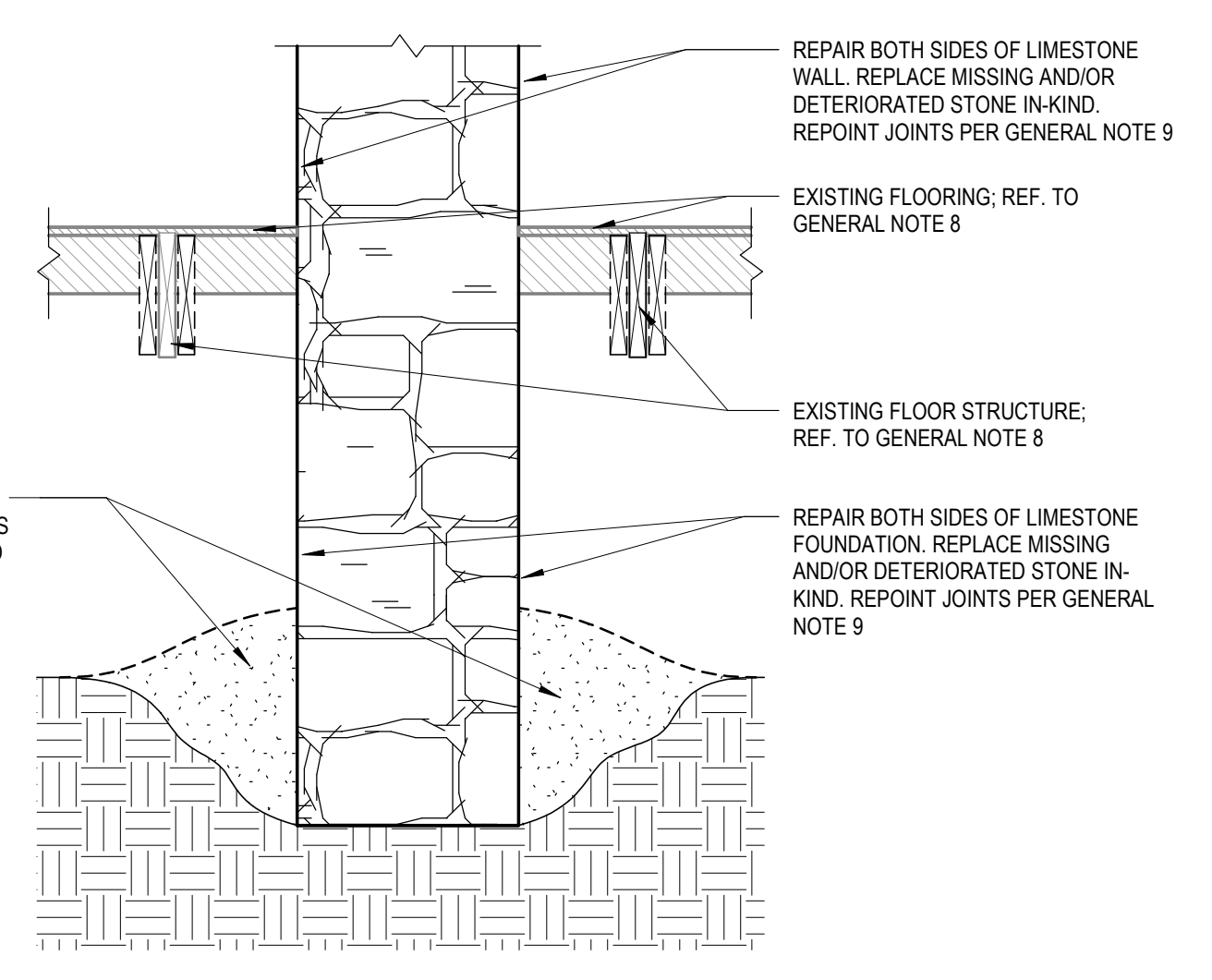
- 01 GALVALUME STANDING SEAM METAL ROOF W/CRIMPED RIDGES, 1" H SEAMS, AND 21" W PANELS
- 02 6" GALVALUME METAL GUTTER
- 03 6" GALVALUME METAL DOWNSPOUT TO MATCH GUTTER FINISH
- 04 STRIP, REPAIR, AND REFINISH ALL EXTERIOR WOOD FASCIA AND SOFFIT
- 06 EXISTING CHIMNEY TO REMAIN; REPLACE ANY DAMAGED STONE IN-KIND AS REQUIRED; REPLACE METAL FLASHING
- 07 TOP OF STONE WALL; REPAIR AS REQUIRED
- 08 EXISTING WOOD RAFTERS

GENERAL NOTES

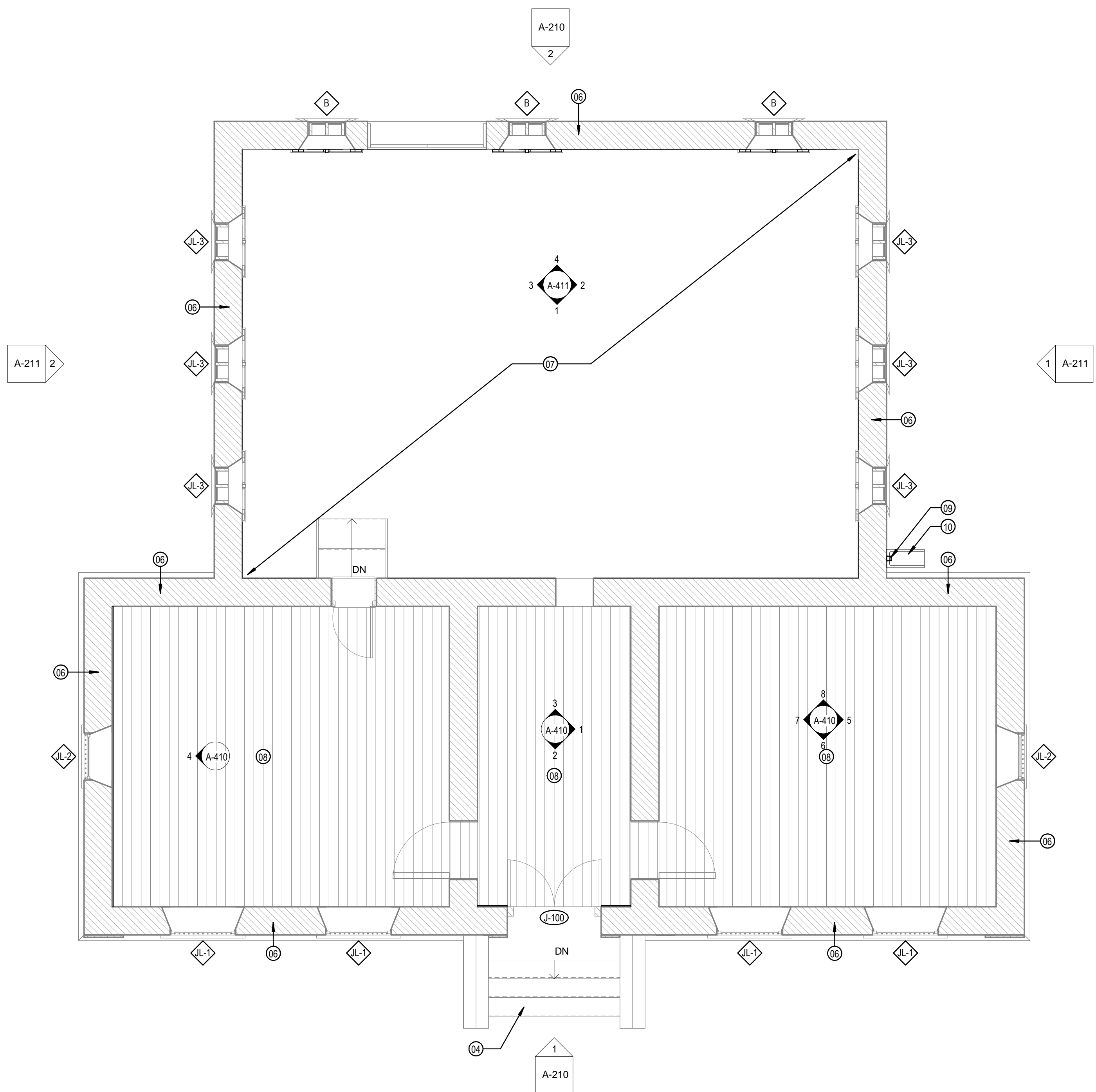
1. IMMEDIATELY ON DISCOVERY OF THE NEED FOR CLARIFICATION OF THE CONTRACT DOCUMENTS, SUBMIT A REQUEST FOR INFORMATION TO ARCHITECT.
2. THESE DOCUMENTS SHOULD NOT BE CONSIDERED AS A SURVEY OF EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN DOCUMENTS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
3. ELEMENTS NOTED WITHIN KEYNOTES ARE BASED UPON VISUAL OBSERVATIONS AT THE TIME OF SURVEY, CONTRACTOR TO VERIFY ANY ADDITIONAL SUBSEQUENT DAMAGE THAT MAY HAVE OCCURRED.
4. FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, & CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
5. ALL DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
6. ALL DOOR AND WINDOWS THAT ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
7. DO NOT REMOVE BASE BOARDS OR OTHER WOODEN TRIM, EXCEPT DURING REPOINTING AND REPLASTERING WHERE NEEDED, PROTECT DURING CONSTRUCTION.
8. SELECT AREAS OF FLOORING AND FLOOR STRUCTURE MAY NEED TO BE REMOVED DURING REPOINTING AND STABILIZATION OF FOUNDATION WALLS. CONTRACTOR WILL DETERMINE THE EXTENT OF REMOVALS NECESSARY UNDER MEANS AND METHODS. ANY FLOOR STRUCTURE REMOVED WILL BE DONE WITH SENSITIVITY SO IT HAS THE POTENTIAL FOR REUSE. REMOVED MATERIALS WILL BE LABELED AND CAREFULLY STORED WITHIN THE BUILDING.
9. REPOINT 100% OF EXTERIOR AND INTERIOR STONE WALLS. CAREFULLY REMOVE EXISTING MORTAR A MINIMUM OF 2 INCHES FROM FACE OF STONE.
10. REPOINTING MORTAR TO CONSIST OF 4 PARTS BUFF COLORED RIVER SAND, 1 PART LIME, 14 PART PORTLAND CEMENT. SOME PORTIONS OF WALL MAY NEED TO BE DISASSEMBLED, SHORED, AND REASSEMBLED USING SAME OR LIKE STONE. ELEVATION SHEETS INDICATE SOME OF THESE AREAS. CONTRACTOR WILL DETERMINE IF ADDITIONAL ARE NEEDED.
11. PROVIDE A TEMPORARY POWER IN EACH BUILDING.
12. PROVIDE A BUCKETLESS PORTABLE COMMERCIAL GRADE DEHUMIDIFIER FOR EACH BUILDING.
13. ALL VISIBLE EXPOSED WOOD SURFACES MUST BE PAINTED TO MATCH EXISTING SURFACE COLOR. PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL. REFER TO SPECS FOR MORE INFO.

KEYNOTES

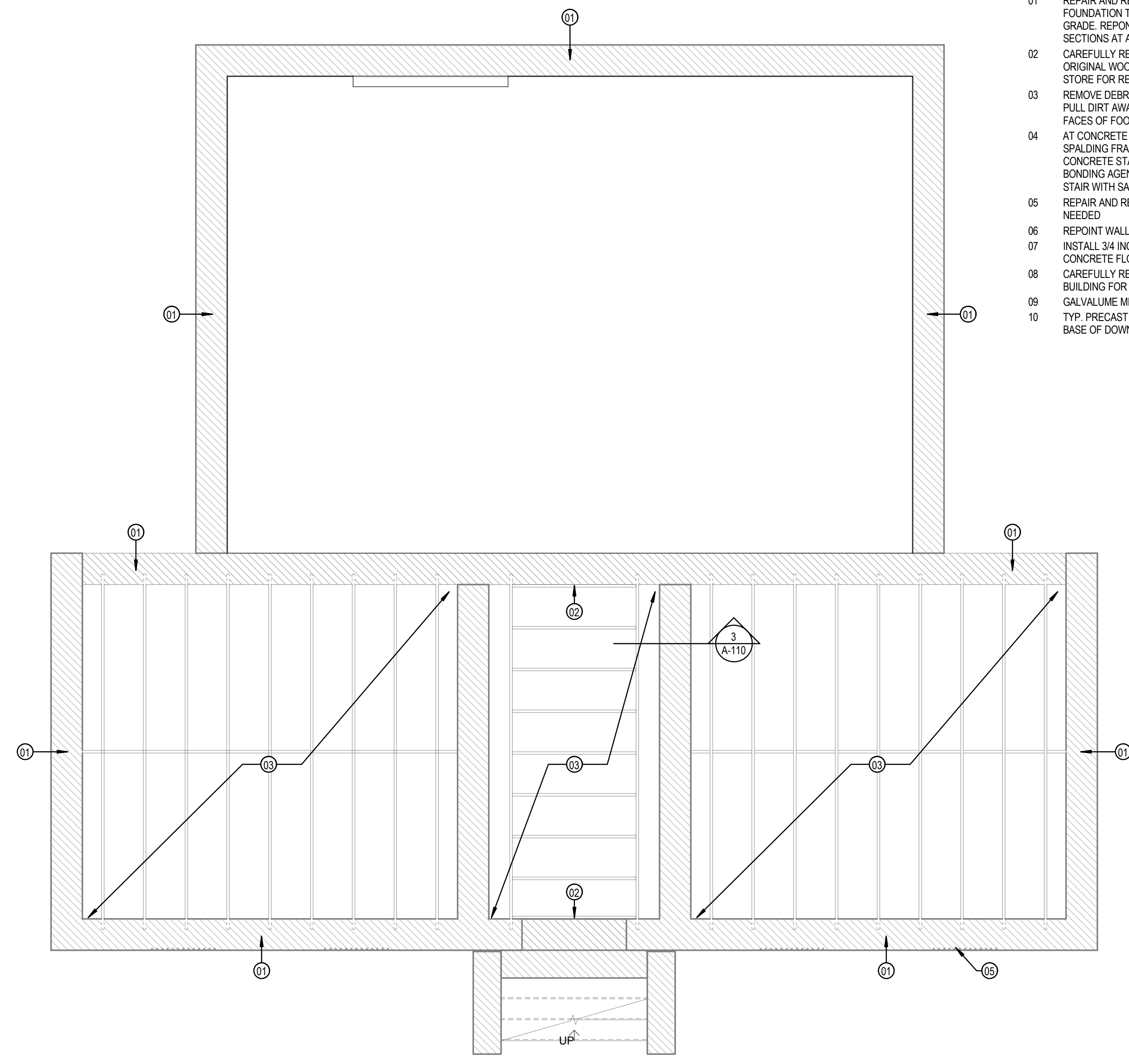
- 01 REPAIR AND REPOINT BOTH SIDES OF EXISTING LIMESTONE FOUNDATION TO BOTTOM OF FOUNDATION OR 3'-0" MAX. BELOW GRADE. REPOINTING SHOULD BE DONE IN NO MORE OF 5'-0" SECTIONS AT A TIME.
- 02 CAREFULLY REMOVE ALL WOOD FRAMING, SALVAGE ALL ORIGINAL WOOD THAT REMAINS IN GOOD CONDITION AND STORE FOR REUSE.
- 03 REMOVE DEBRIS FROM CRAWL SPACE. REMOVE ALL MEP ITEMS, PULL DIRT AWAY FROM EXISTING FOUNDATIONS AND REPOINT FACES OF FOOTINGS. BACK FILL WHEN COMPLETE.
- 04 AT CONCRETE STEPS GENTLY REMOVE ALL LOOSE OR SPALDING FRAGMENTS OF CONCRETE, THEN CLEAN ENTIRE CONCRETE STAIR AND ALLOW TO DRY. APPLY A CONCRETE BONDING AGENT TO STAIR, THEN APPLY CONCRETE TOPPING TO STAIR WITH SALT FINISH.
- 05 REPAIR AND REFINISH METAL GRILLE; REPLACE IN-KIND WHERE NEEDED.
- 06 REPOINT WALL; REFER TO GENERAL NOTES 9,10,11
- 07 INSTALL 3/4 INCH PLYWOOD SHEETS TO PROTECT EXISTING CONCRETE FLOOR DURING CONSTRUCTION.
- 08 CAREFULLY REMOVE FLOOR BOARDS AND STORE WITHIN THE BUILDING FOR FUTURE RE-INSTALLATION
- 09 GALVALUME METAL SCUPPER AND 6" GUTTER
- 10 TYP. PRECAST CONCRETE SPLASH BLOCK 24"Lx10"Wx3"H AT BASE OF DOWNSPOUT



3 SECTION DETAIL
3/4" = 1'-0"



2 1881 JAIL-REHABILITATION-FIRST FLOOR
1/4" = 1'-0"



1 1881 JAIL-REHABILITATION-FOUNDATION PLAN
1/4" = 1'-0"

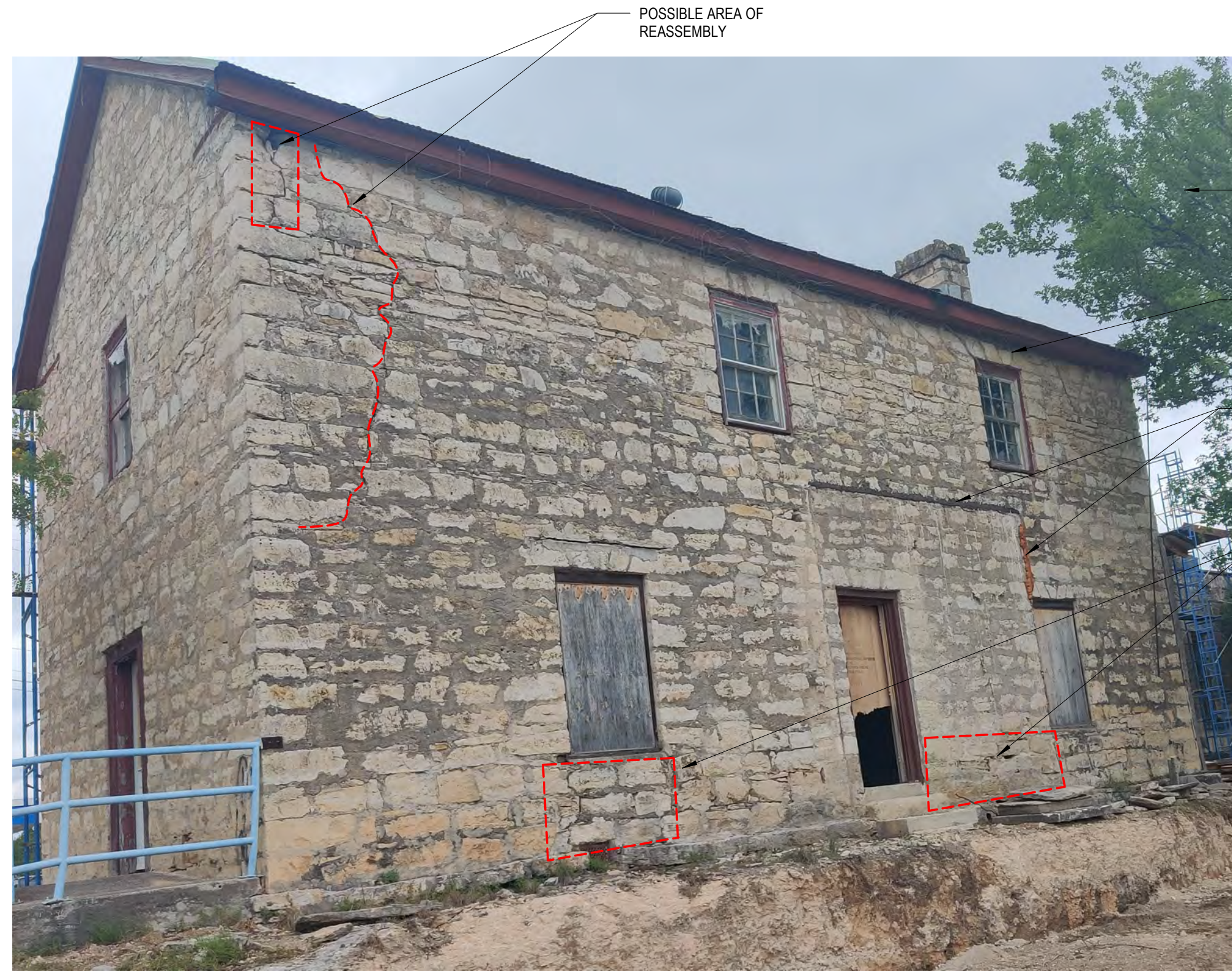
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PROJECT: BANDERA COUNTY VISITOR CENTER
SHEET TITLE: REHABILITATION PLANS - 1881 JAIL

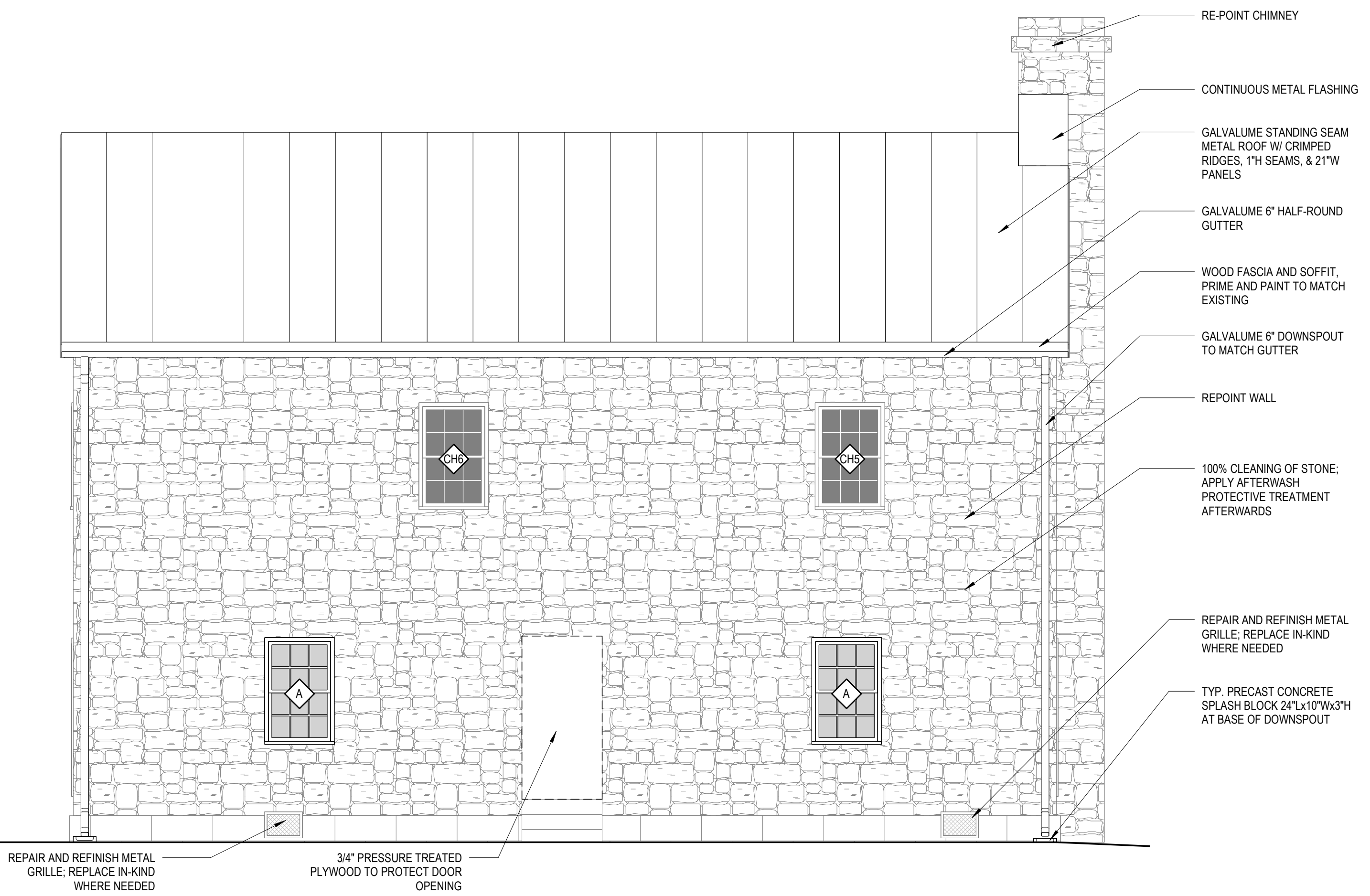
PROJECT NO: 2301 A1

REVISIONS DATE
1 RE-ISSUE 11/1/2024

SHEET NO:
A-110



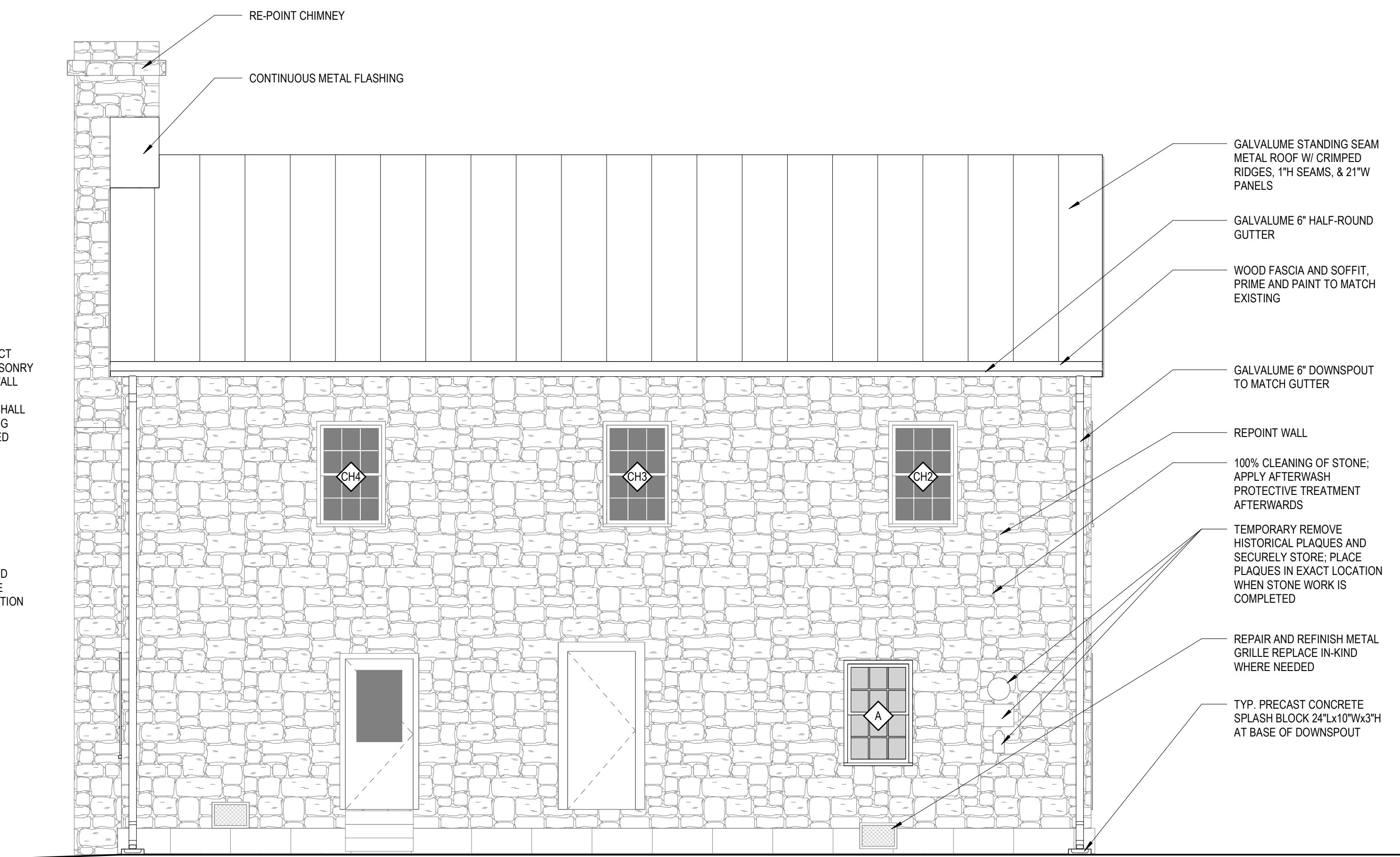
- TRIM TREE BRANCHES 10' AWAY FROM THE BUILDING
- REMOVE ALL VEGETATION FROM BUILDING
- CAREFULLY REMOVE ALL EXPOSED SPRAY FOAM AND MASTIC FROM MASONRY JOINTS AND REPOINT AS NEEDED W/ APPROPRIATE MORTAR MIX
- POSSIBLE AREA OF REASSEMBLY



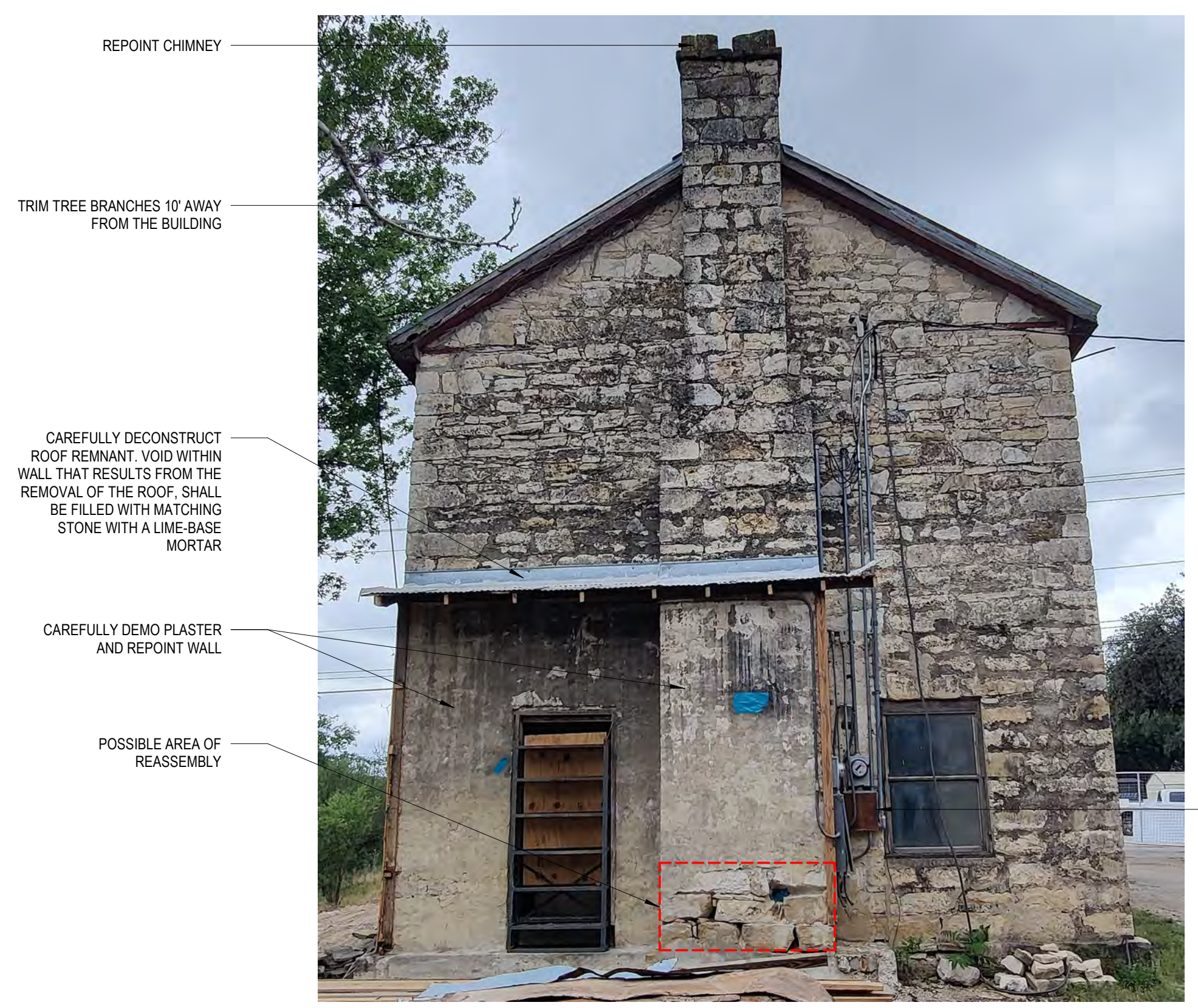
1 1877 COURTHOUSE-REHABILITATION-EAST ELEVATION
1/4" = 1'-0"



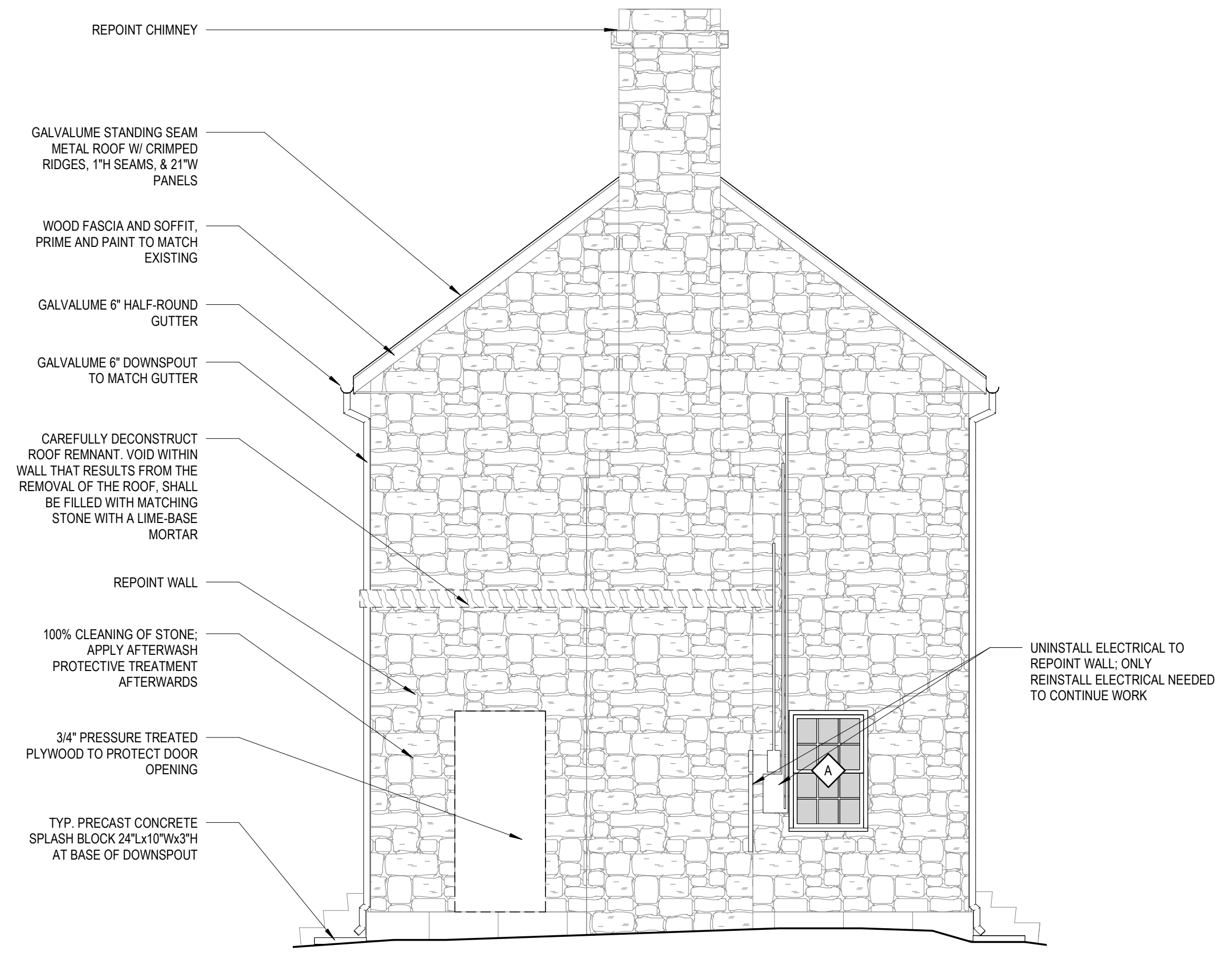
- CAREFULLY DECONSTRUCT NON-ORIGINAL BRICK MASONRY CHIMNEY. VOID WITHIN WALL RESULTING FROM THE REMOVAL OF CHIMNEY, SHALL BE FILLED WITH MATCHING STONE WITH A LIME BASED MOTAR
- REPOINT WALL
- TEMPORARILY REMOVE HISTORICAL PLAQUES AND SECURELY STORE; PLACE PLAQUES IN EXACT LOCATION WHEN STONE WORK IS COMPLETED



2 1877 COURTHOUSE-REHABILITATION-WEST ELEVATION
1/4" = 1'-0"



UNINSTALL ELECTRICAL TO REPOINT WALL, ONLY REINSTALL ELECTRICAL NEEDED TO CONTINUE WORK



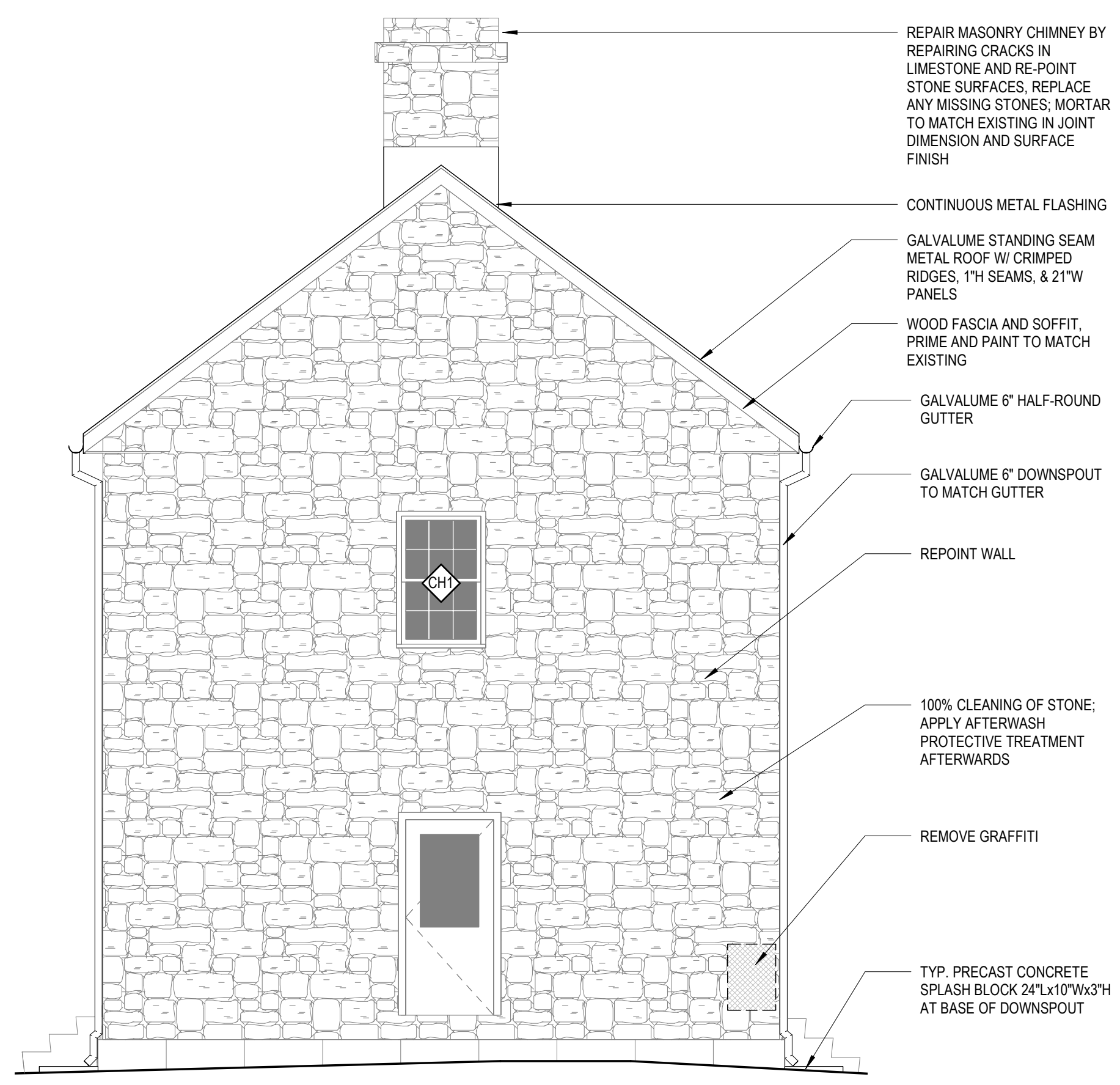
1 1877 COURTHOUSE-REHABILITATION-NORTH ELEVATION
1/4" = 1'-0"



REPOINT WALL

POSSIBLE AREA OF REASSEMBLY

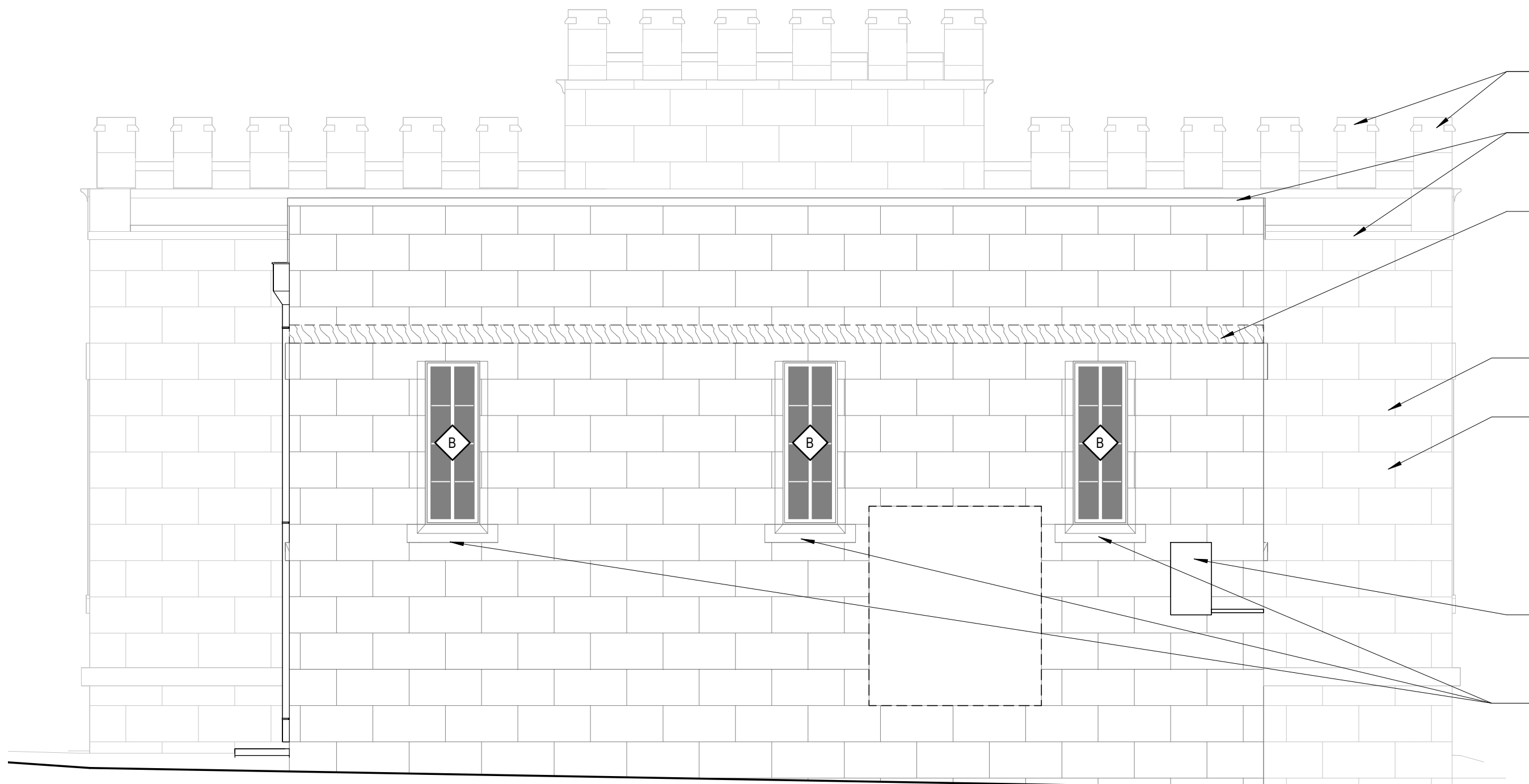
REMOVE GRAFFITI



2 1877 COURTHOUSE-REHABILITATION-SOUTH ELEVATION
1/4" = 1'-0"

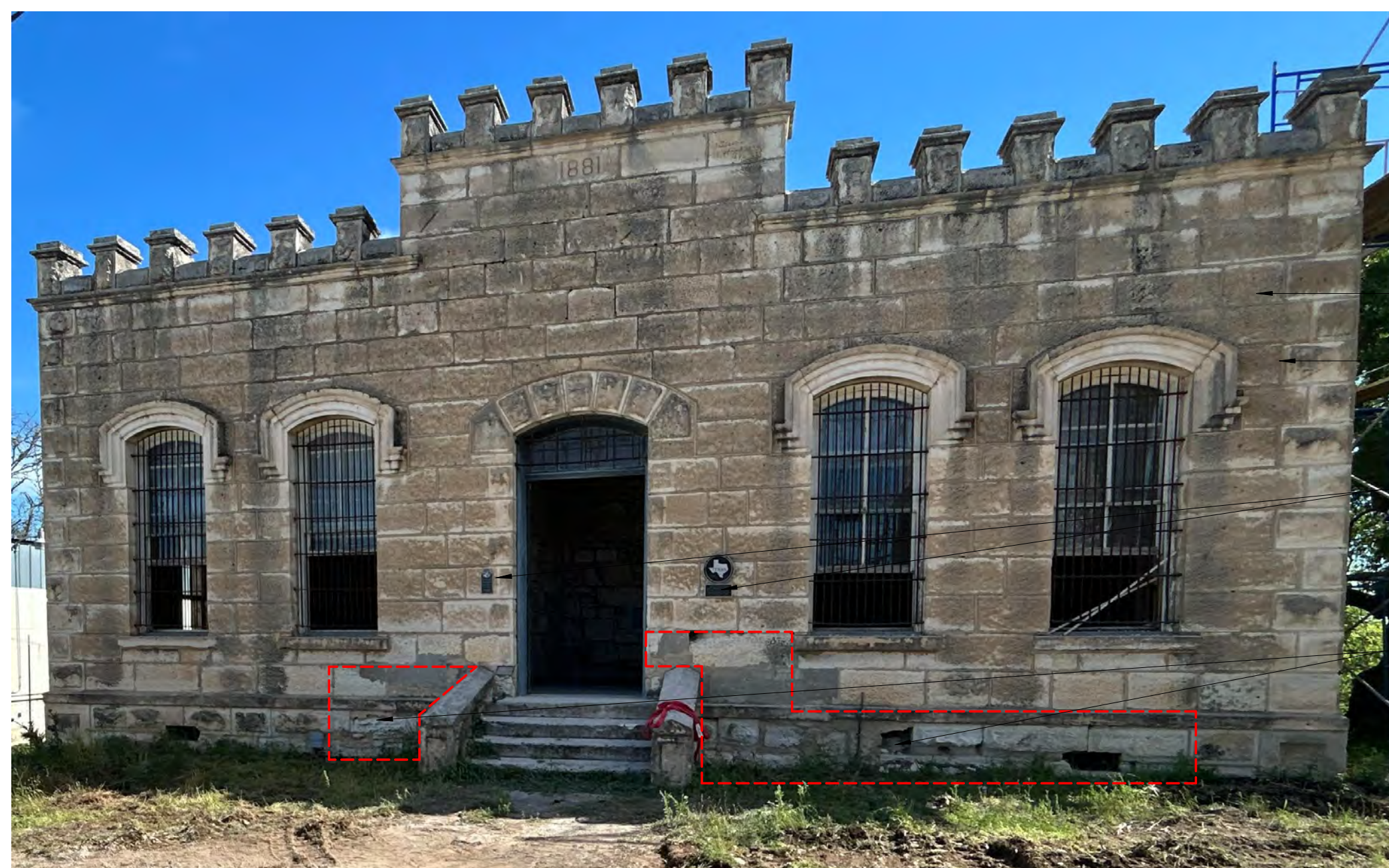


- CAREFULLY DECONSTRUCT ROOF REMNANT. VOID WITHIN WALL THAT RESULTS FROM THE REMOVAL OF THE ROOF. SHALL BE FILLED WITH MATCHING STONE WITH A LIME-BASE MORTAR
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS
- REMOVE PLYWOOD AND DUCT WORK AND PREP OPENING TO RECEIVE NEW WINDOW
- UNINSTALL ELECTRICAL TO REPOINT WALL; ONLY REINSTALL ELECTRICAL NEEDED TO CONTINUE WORK
- REPOINT WALL
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS

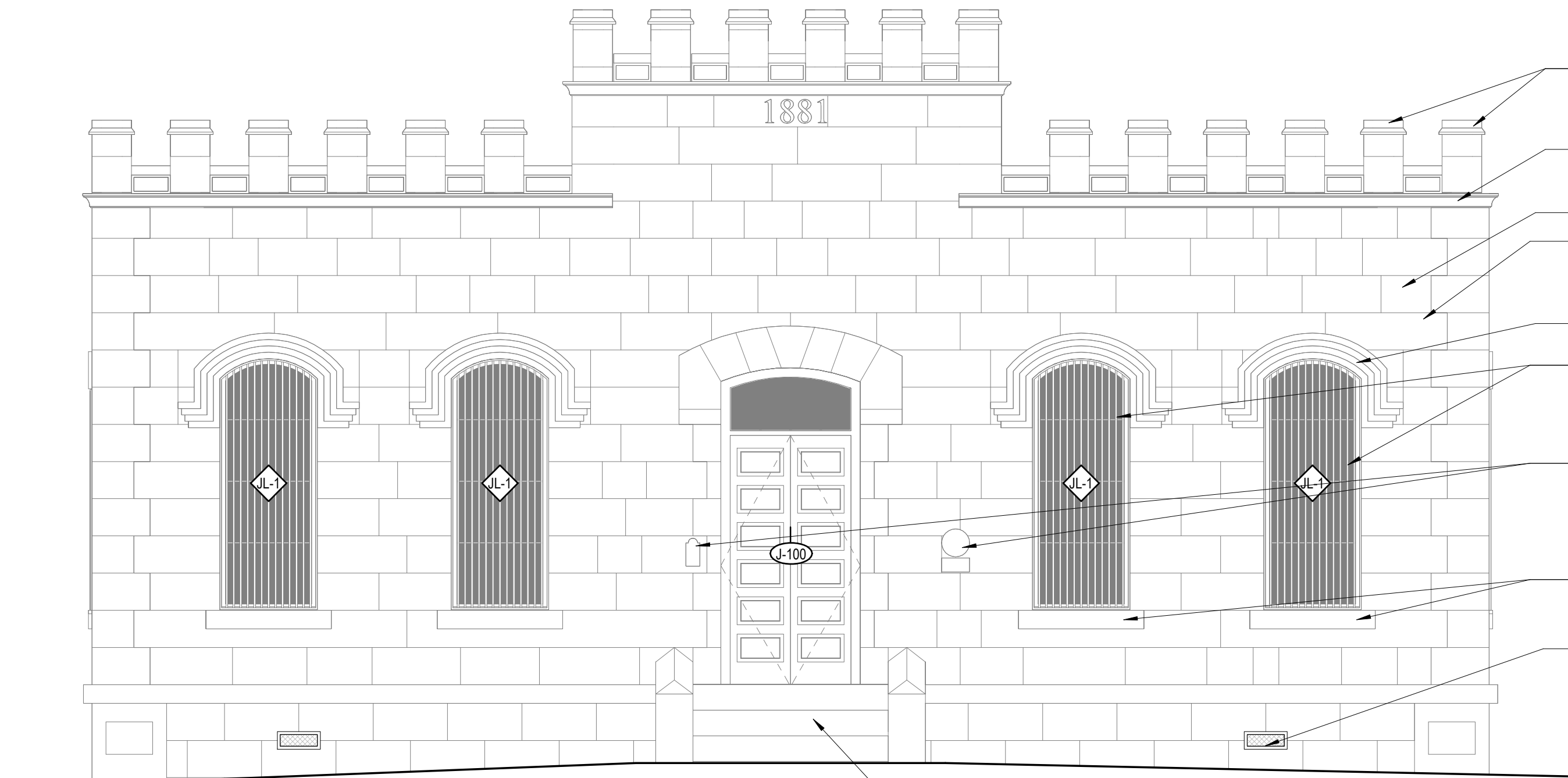


- SECURE ALL STONE TOWERS CAPS TO THEIR BASE, CLEAN AND REPAIR AS NEEDED
- CLEAN AND REPAIR STONE CORNICE
- CAREFULLY DECONSTRUCT ROOF REMNANT. VOID WITHIN WALL THAT RESULTS FROM THE REMOVAL OF THE ROOF. SHALL BE FILLED WITH MATCHING STONE WITH A LIME-BASE MORTAR
- REPOINT WALL
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS
- UNINSTALL ELECTRICAL TO REPOINT WALL; ONLY REINSTALL ELECTRICAL NEEDED TO CONTINUE WORK
- CLEAN AND REPAIR STONE SILLS AS NEEDED

2 1881 JAIL-REHABILITATION-NORTH ELEVATION
1/4" = 1'-0"



- REPOINT WALL
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS
- TEMPORARY REMOVE HISTORICAL PLAQUES AND SECURELY STORE; PLACE PLAQUES IN EXACT LOCATION WHEN STONE WORK IS COMPLETED
- POSSIBLE AREA OF REASSEMBLY



- SECURE ALL STONE TOWERS CAPS TO THEIR BASE, CLEAN AND REPAIR AS NEEDED
- CLEAN AND REPAIR STONE CORNICE
- REPOINT WALL
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS
- CLEAN AND REPAIR STONE HEADERS AS NEEDED
- SODA BLAST CLEAN ALL JAIL WINDOW BARS DOWN TO BARE METAL, THEN APPLY EPOXY PRIMER, THEN PAINT
- TEMPORARY REMOVE HISTORICAL PLAQUES AND SECURELY STORE; PLACE PLAQUES IN EXACT LOCATION WHEN STONE WORK IS COMPLETED
- CLEAN AND REPAIR STONE SILLS AS NEEDED
- REPAIR AND REFINISH METAL GRILLE; REPLACE IN-KIND WHERE NEEDED

1 1881 JAIL-REHABILITATION-SOUTH ELEVATION
1/4" = 1'-0"

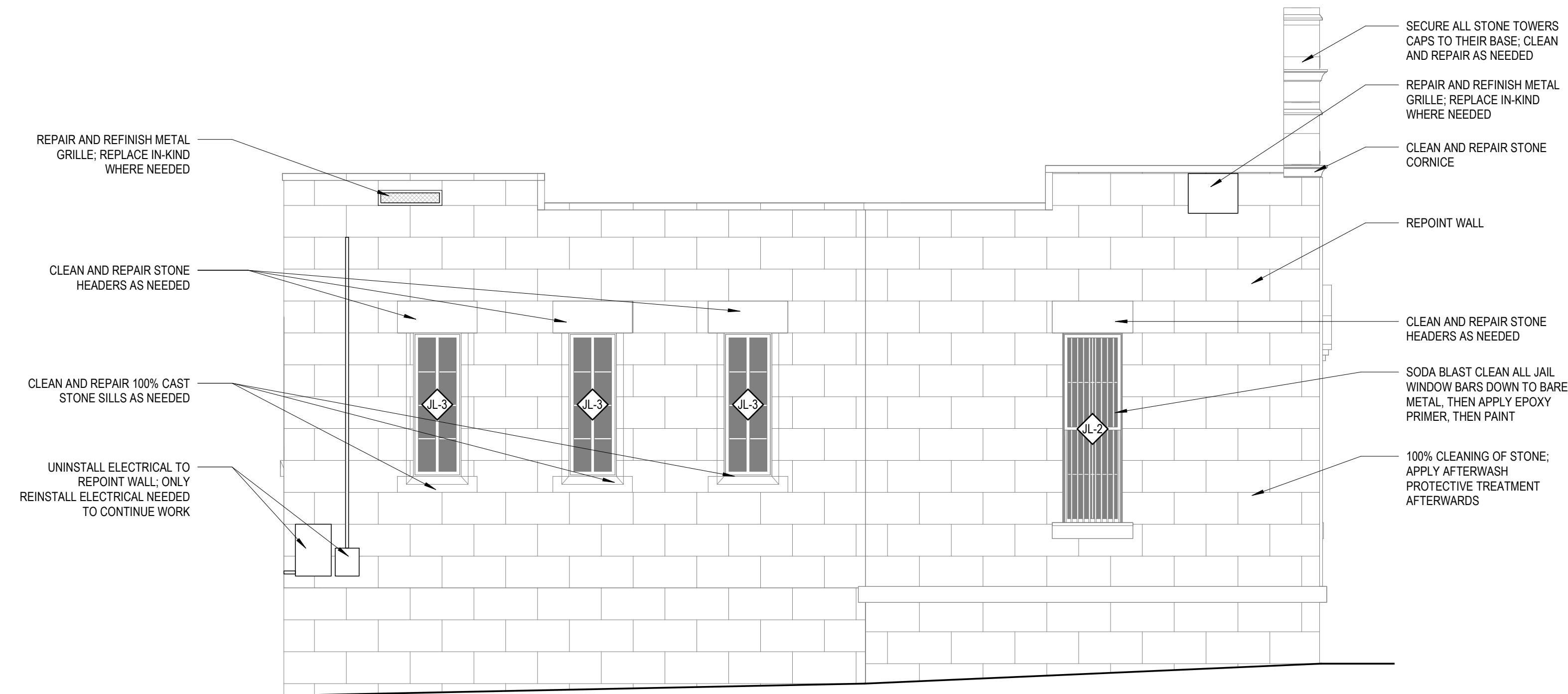
PROJECT NO: 2301 A1

REVISIONS DATE
1 RE-ISSUE 11/1/2024

SHEET NO:
A-210



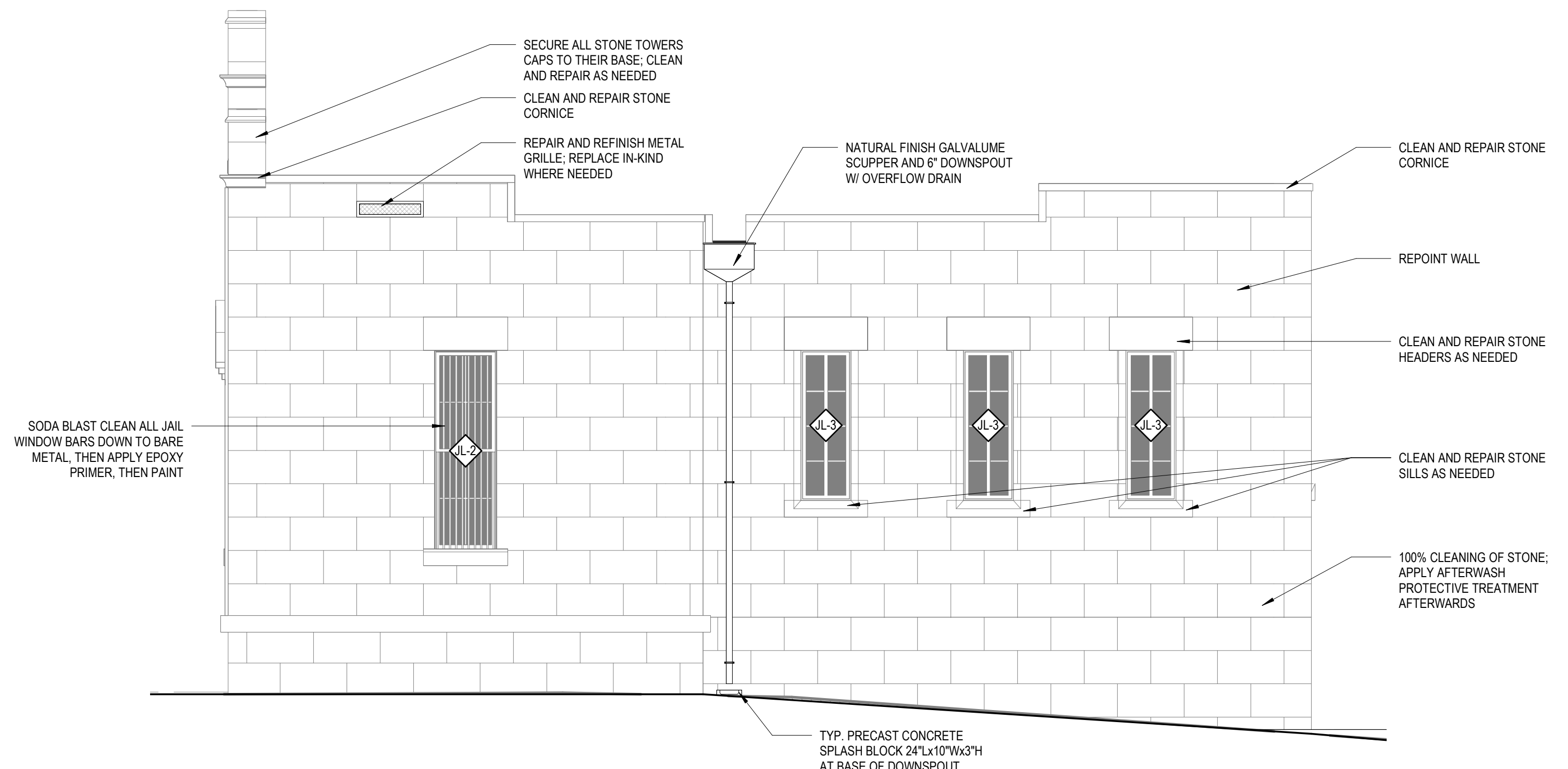
- REPOINT WALL
- UNINSTALL ELECTRICAL TO REPOINT WALL. ONLY REINSTALL ELECTRICAL NEEDED TO CONTINUE WORK
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS



2 1881 JAIL-REHABILITATION-WEST ELEVATION
1/4" = 1'-0"



- REPOINT WALL
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS

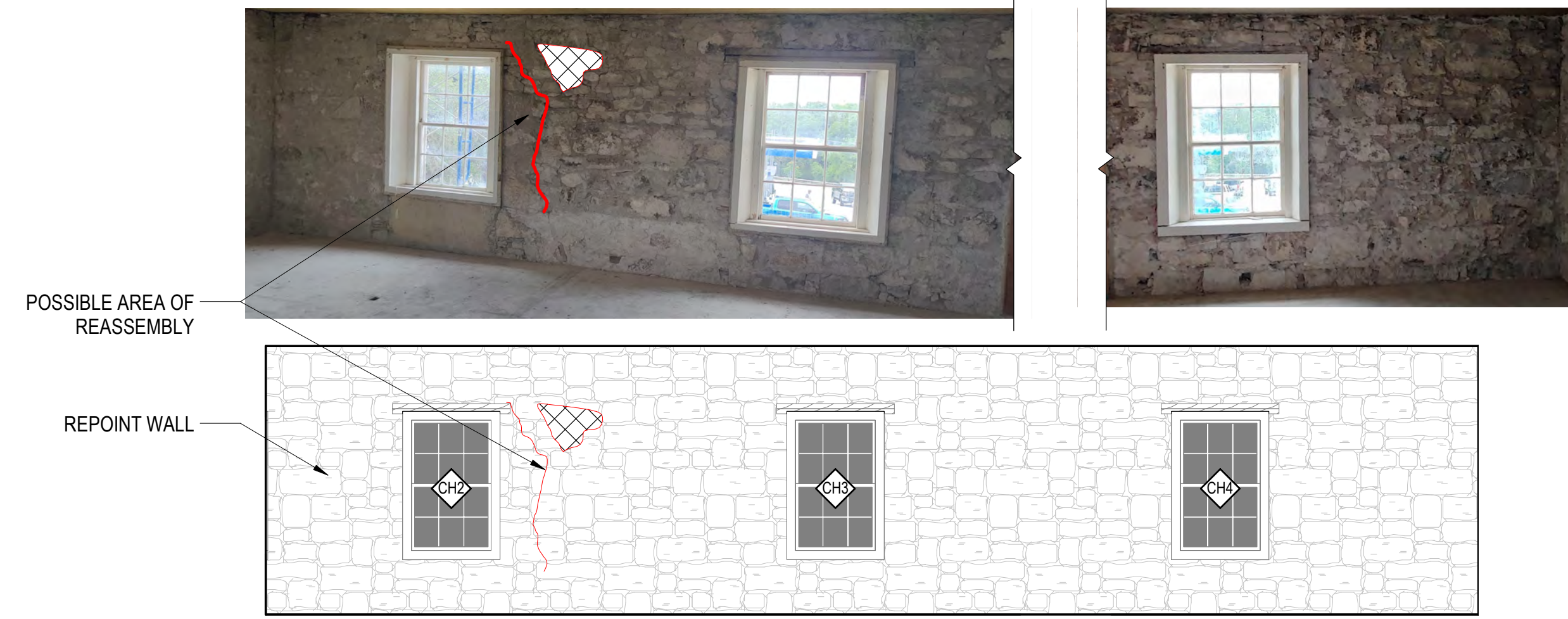


1 1881 JAIL-REHABILITATION-EAST ELEVATION
1/4" = 1'-0"

PROJECT: BANDERA COUNTY VISITOR CENTER
SHEET TITLE: EXTERIOR ELEVATIONS

PROJECT NO: 2301 A1
REVISIONS: 1 RE-ISSUE
DATE: 11/11/2024

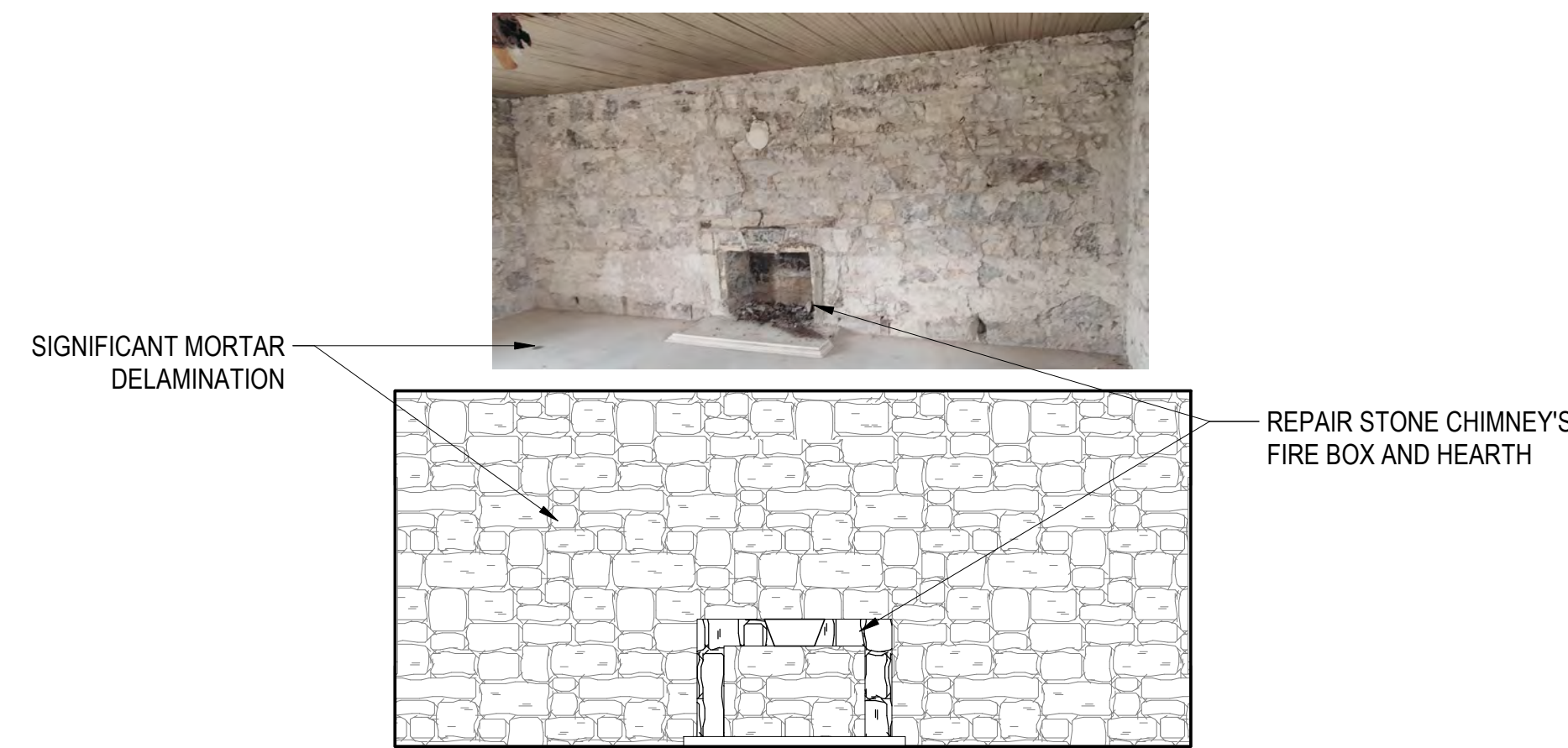
SHEET NO: A-211



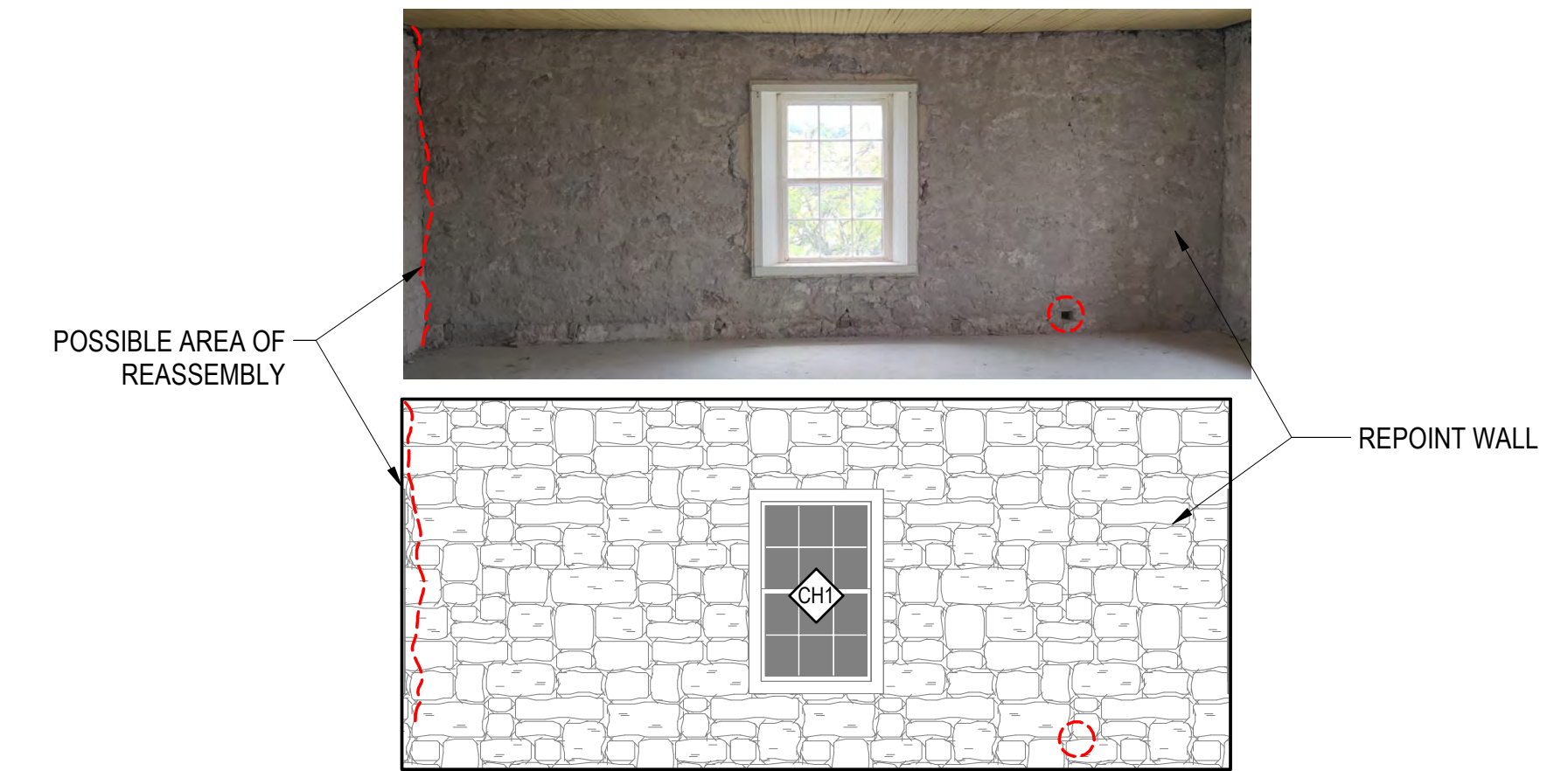
8 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



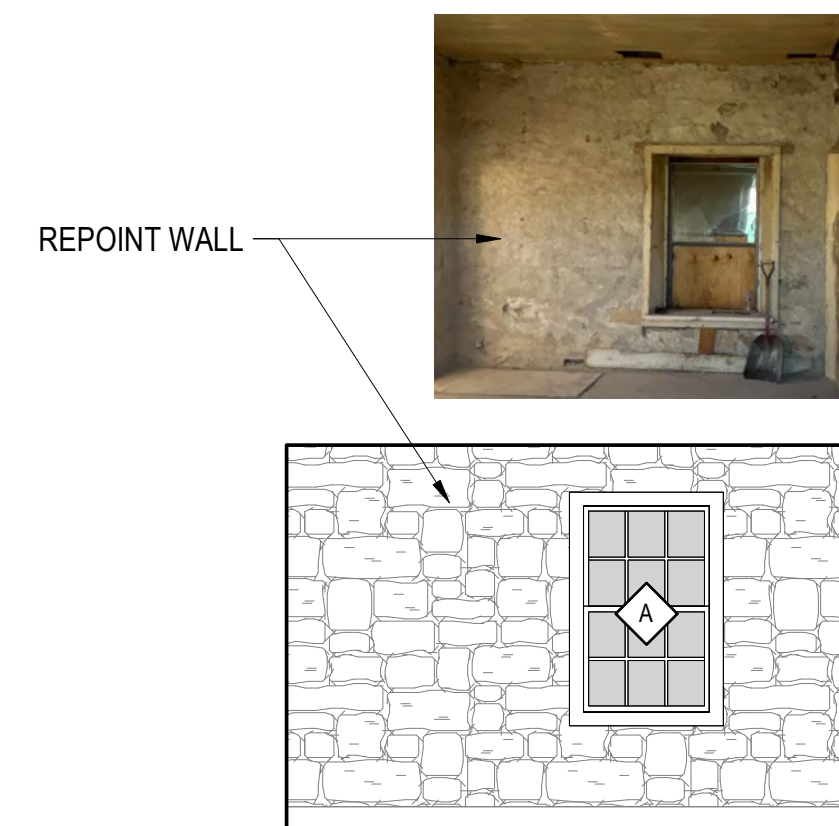
7 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



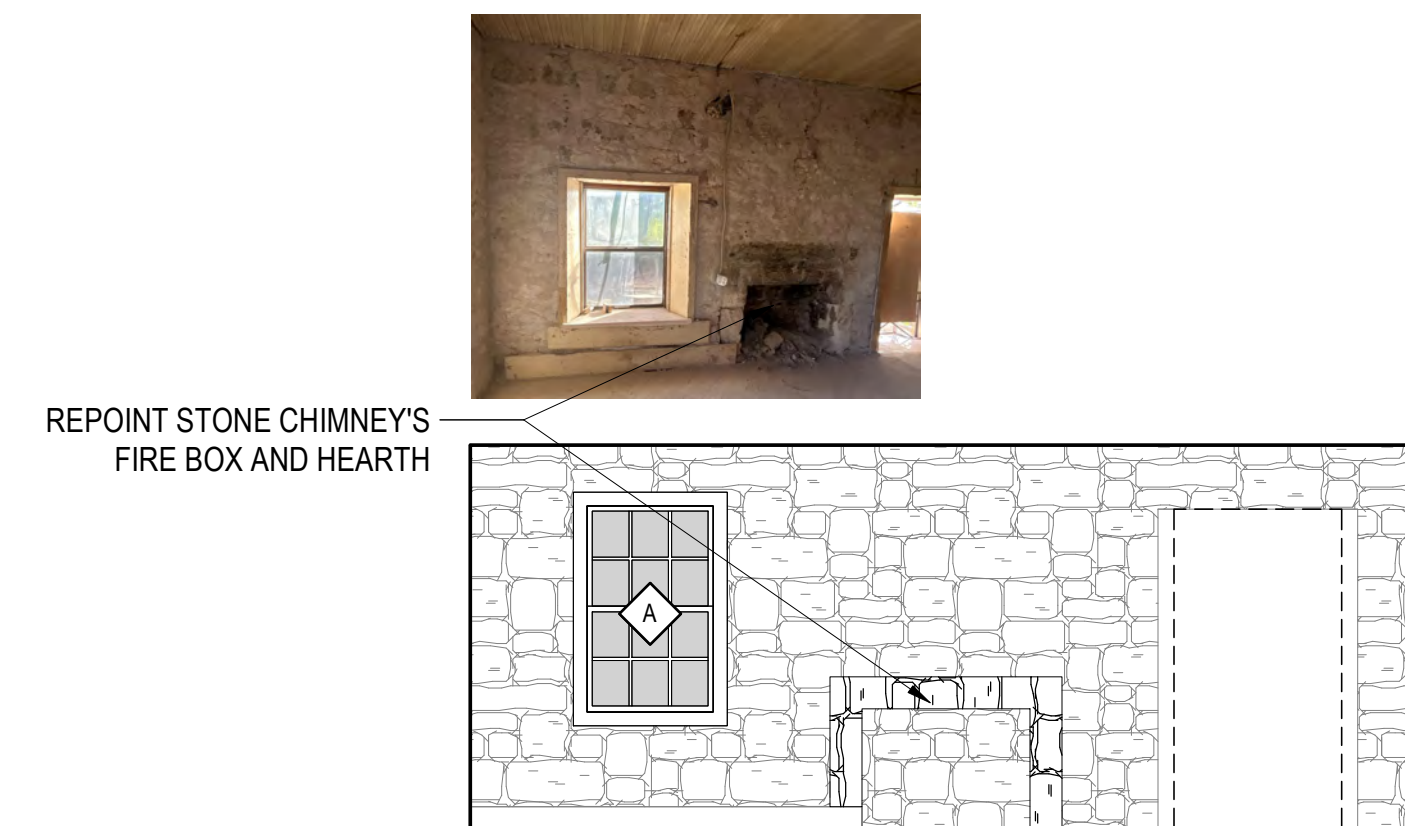
6 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



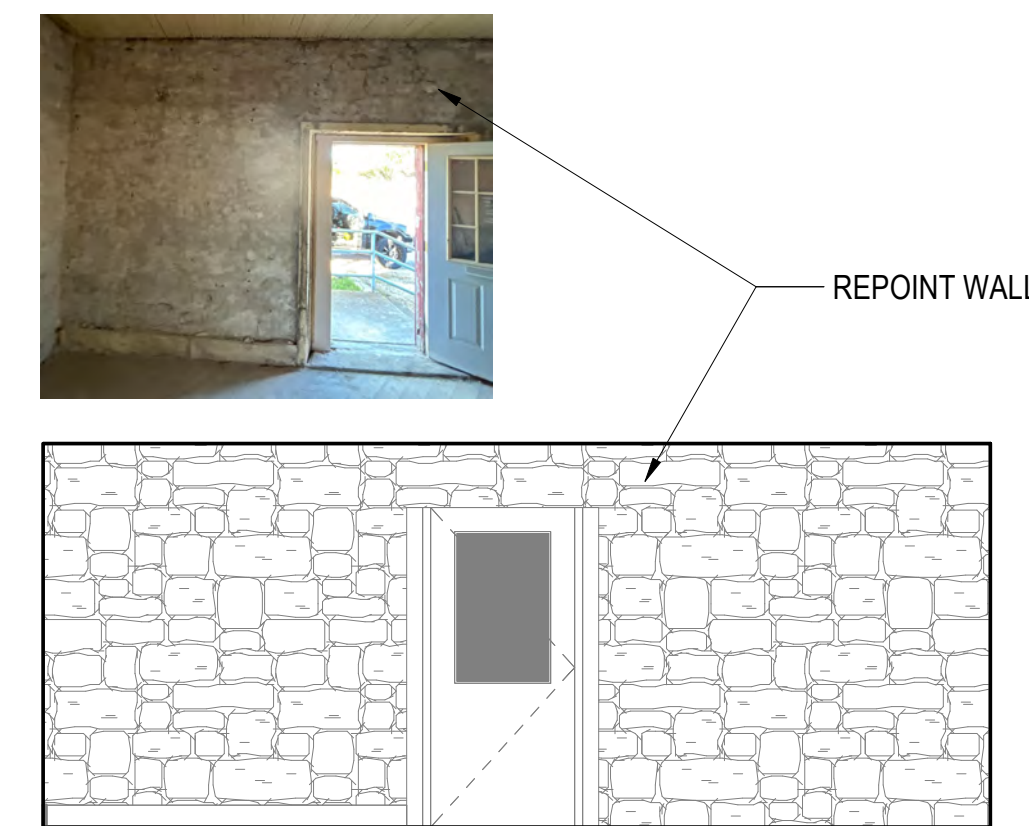
5 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



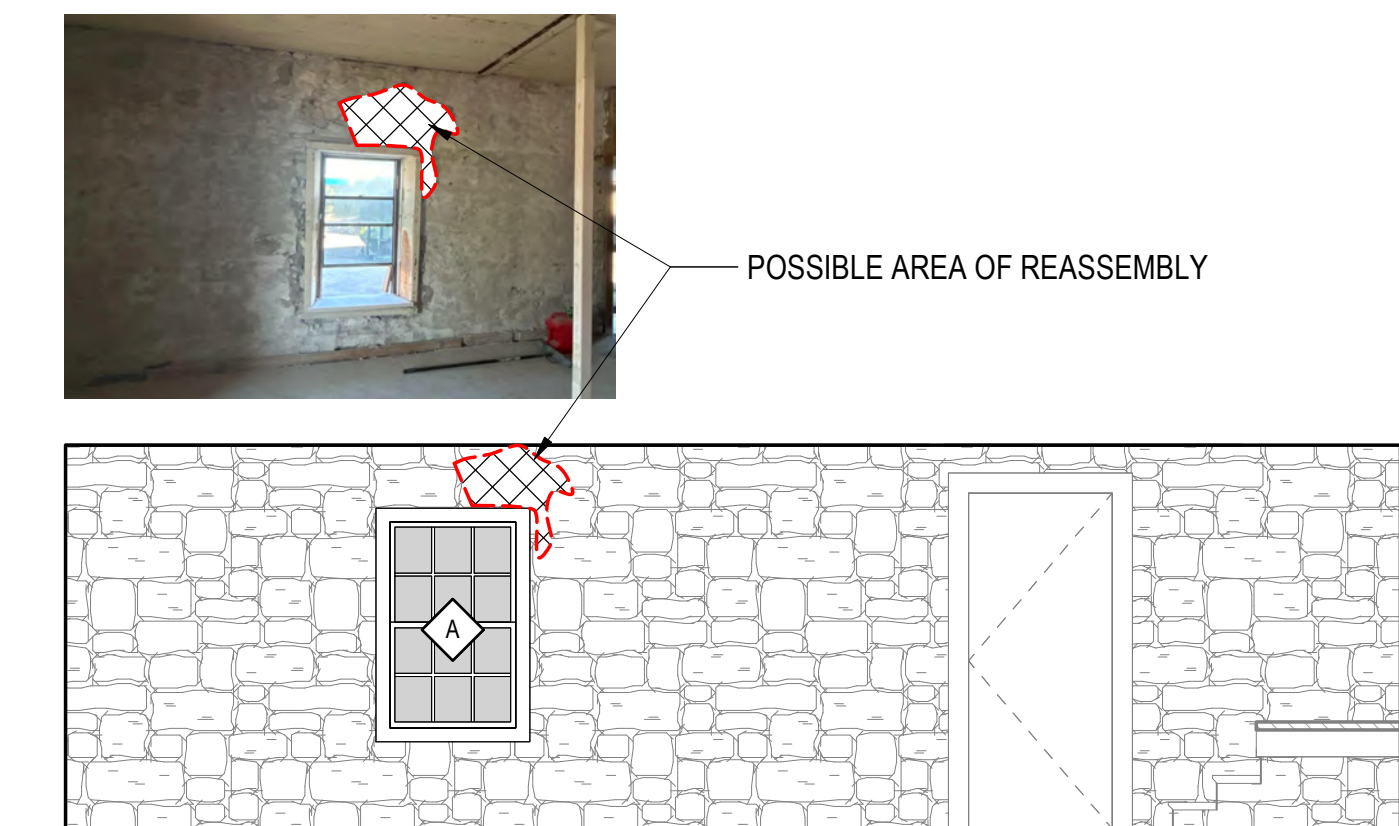
4 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



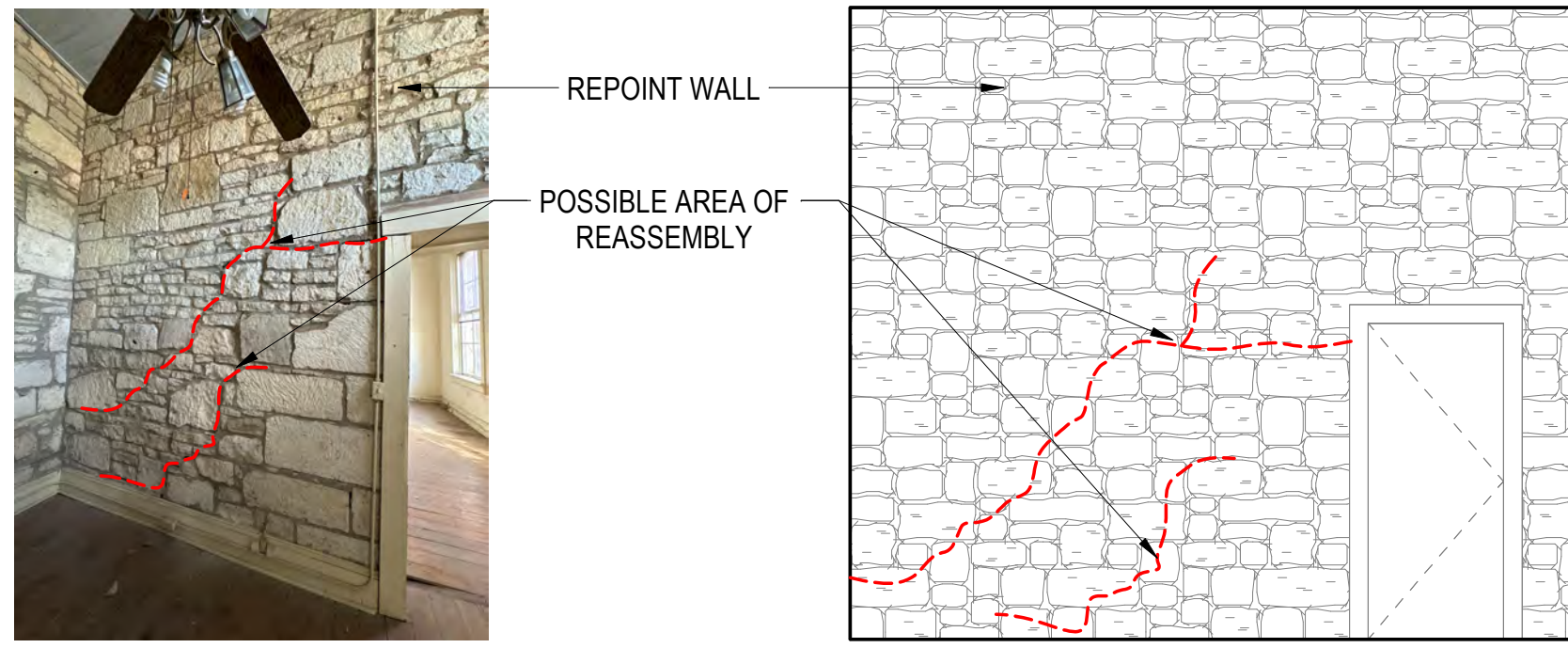
3 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



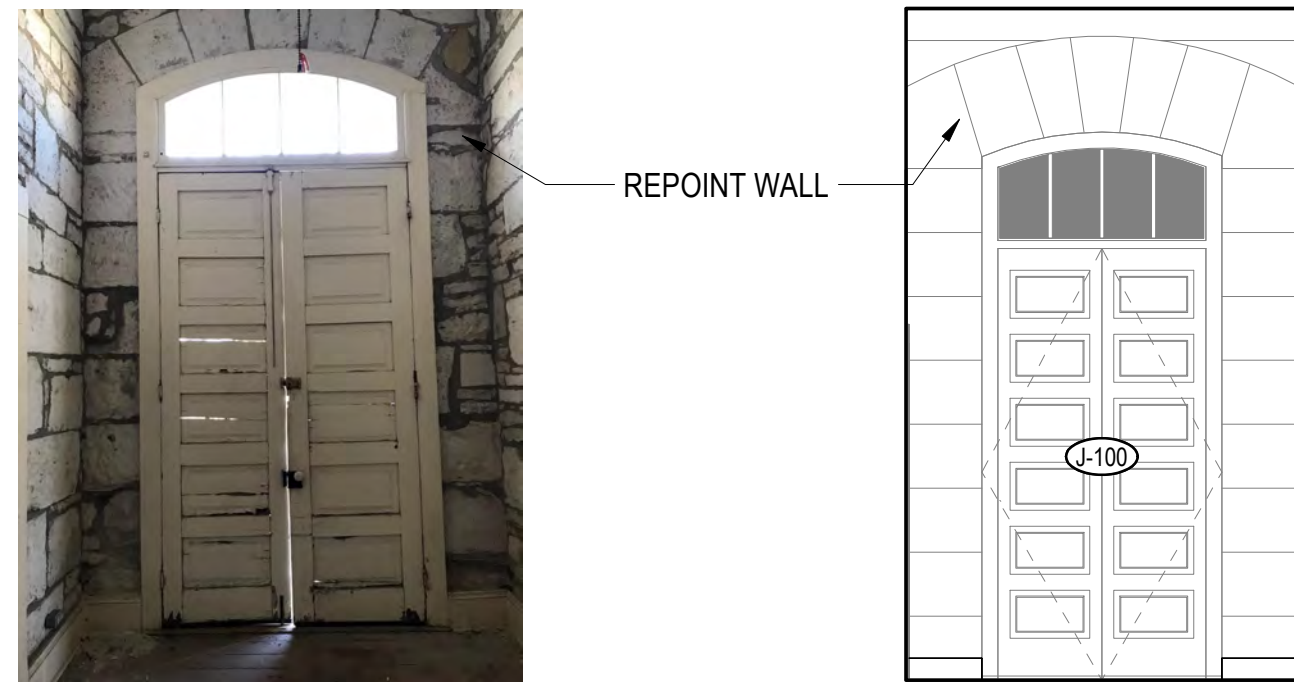
2 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



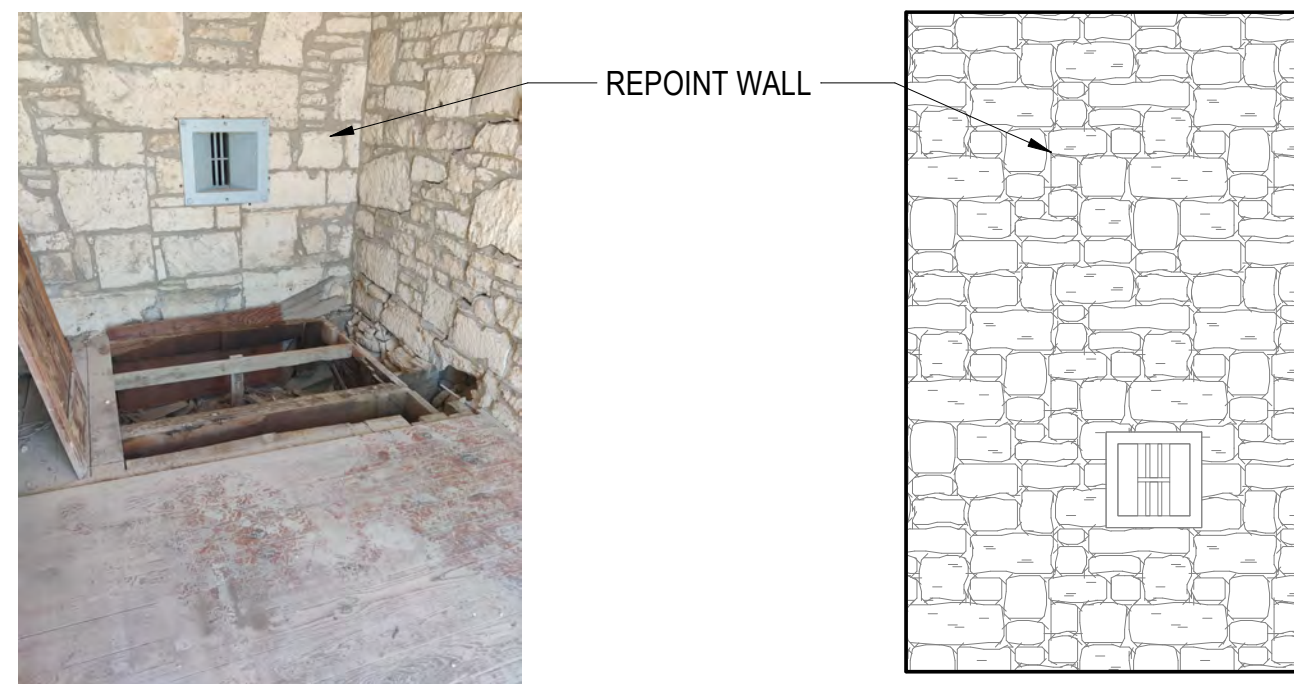
1 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



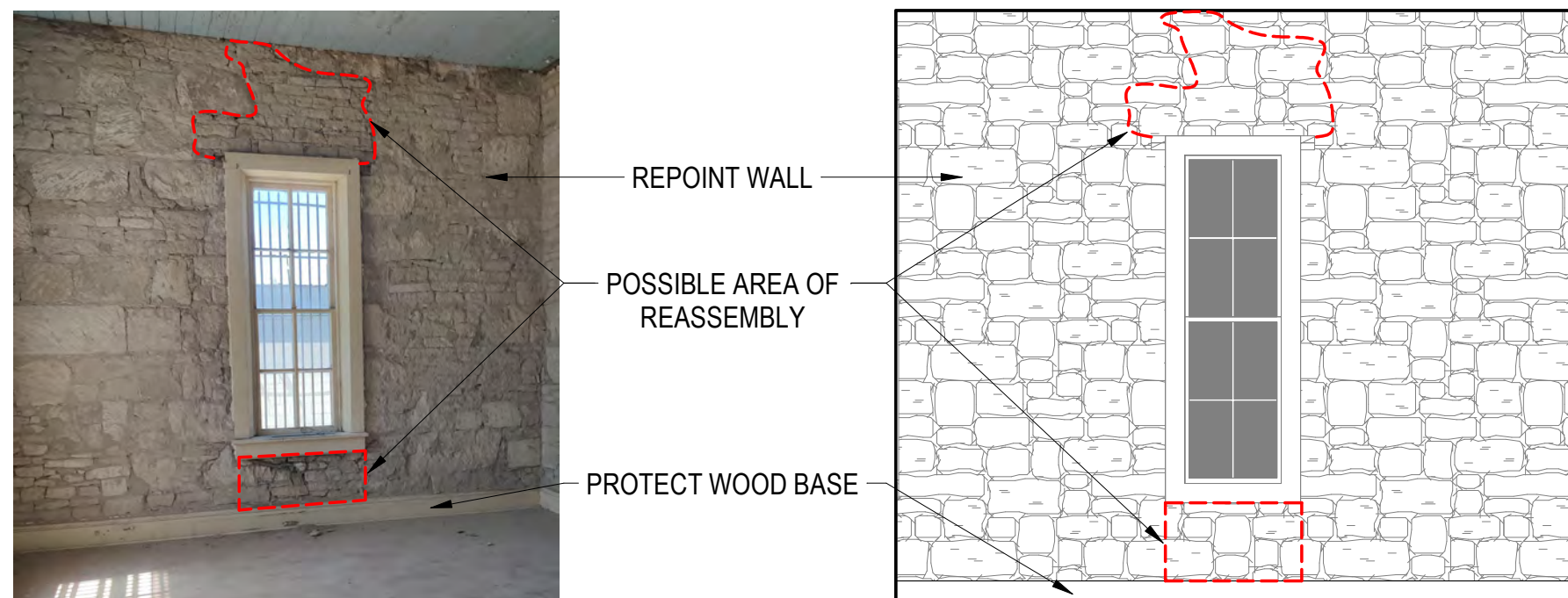
1 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"



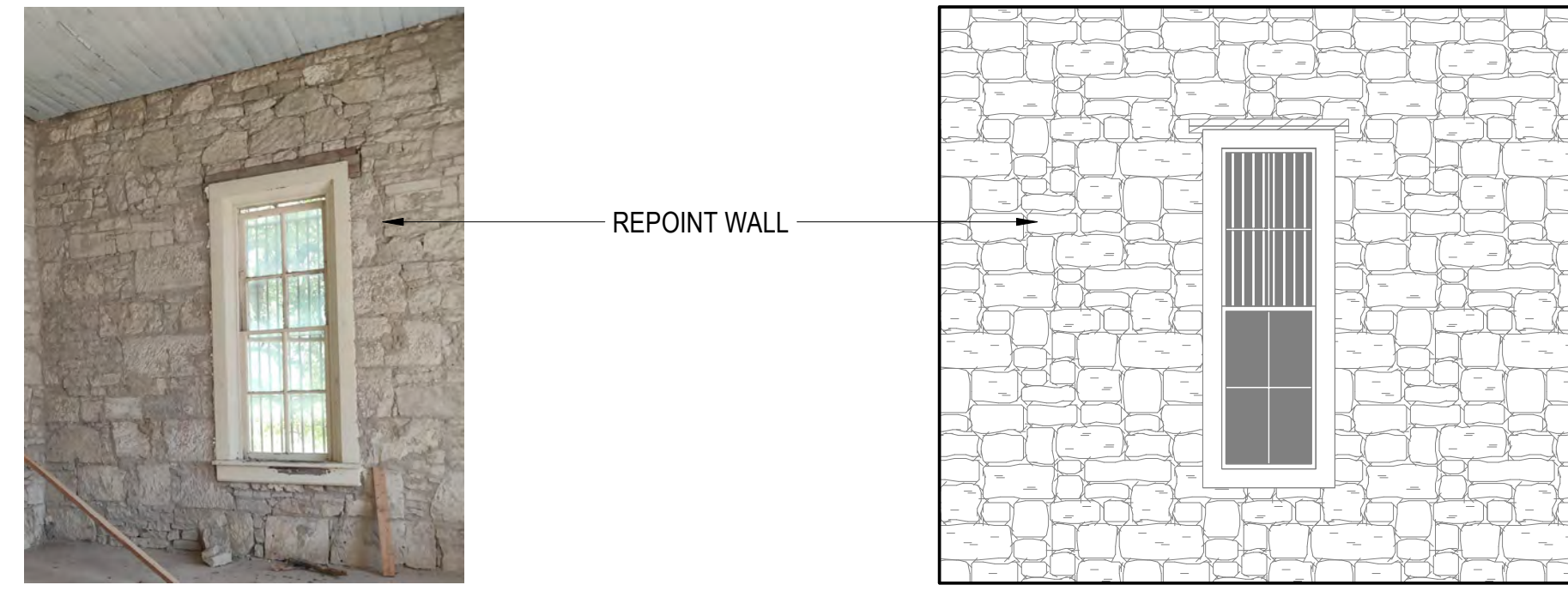
2 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"



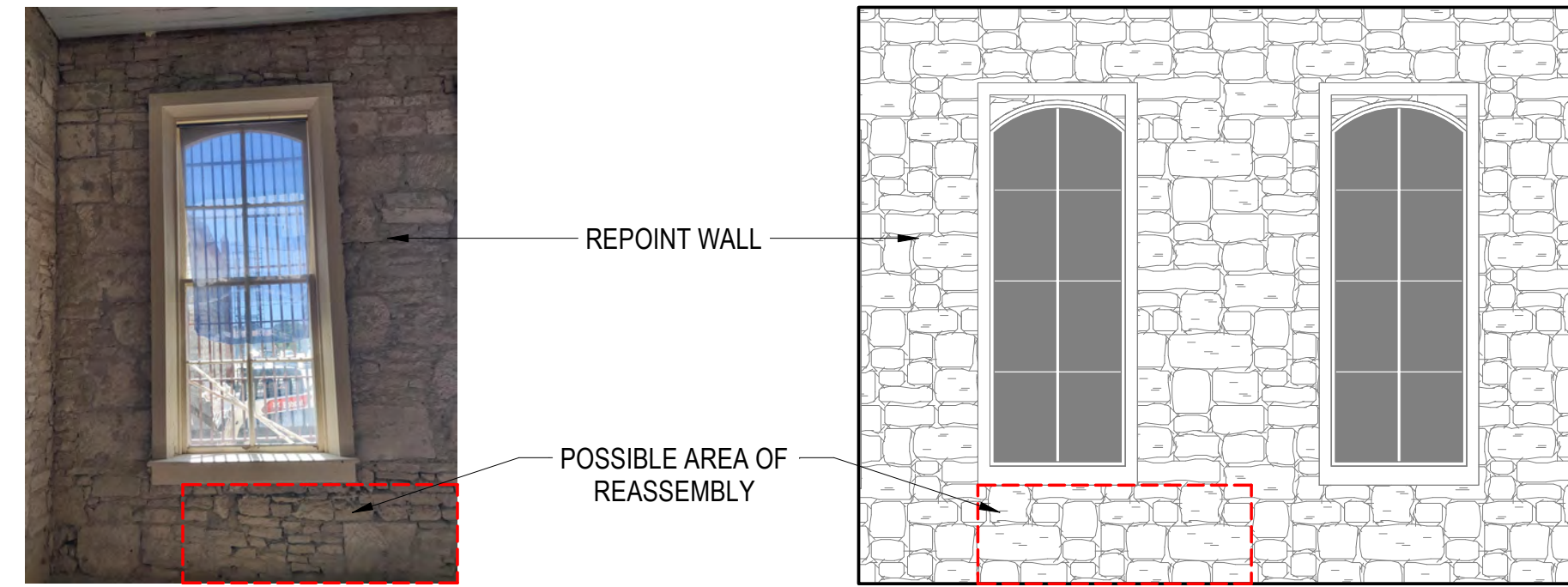
3 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"



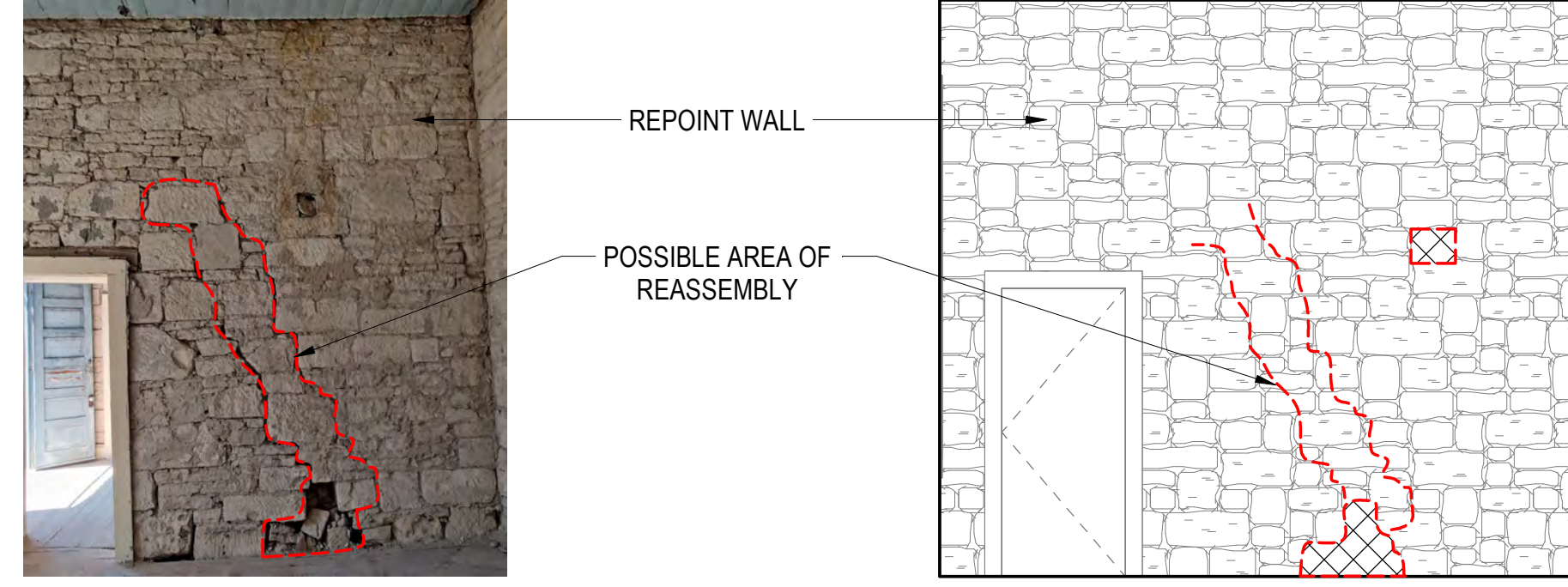
4 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"



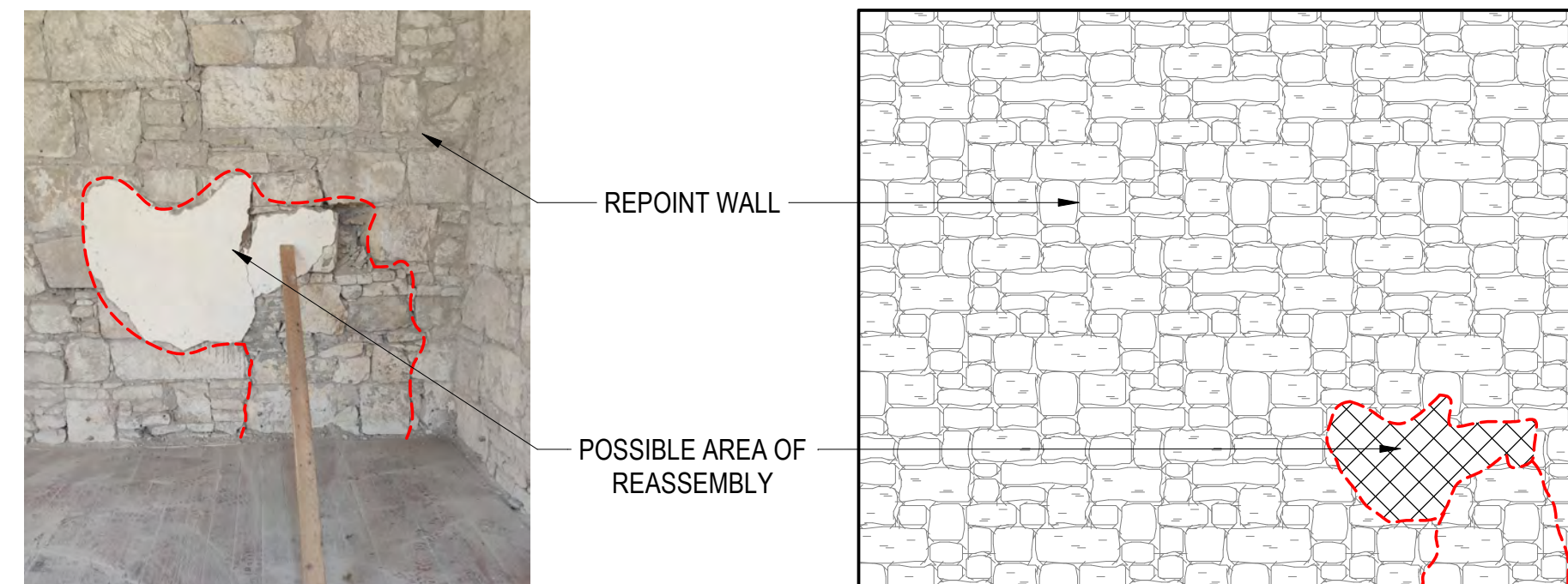
5 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"



6 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"

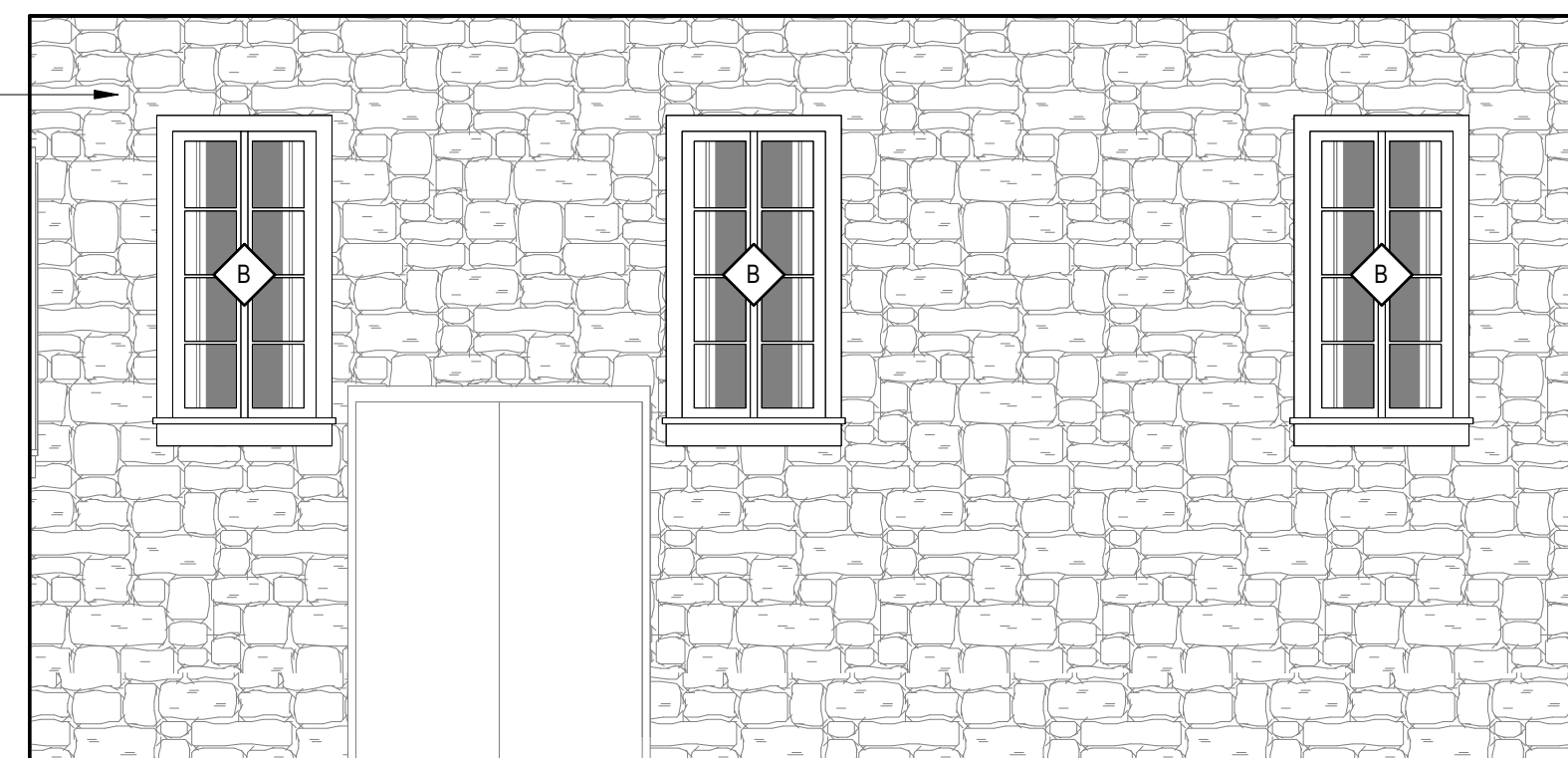


7 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"

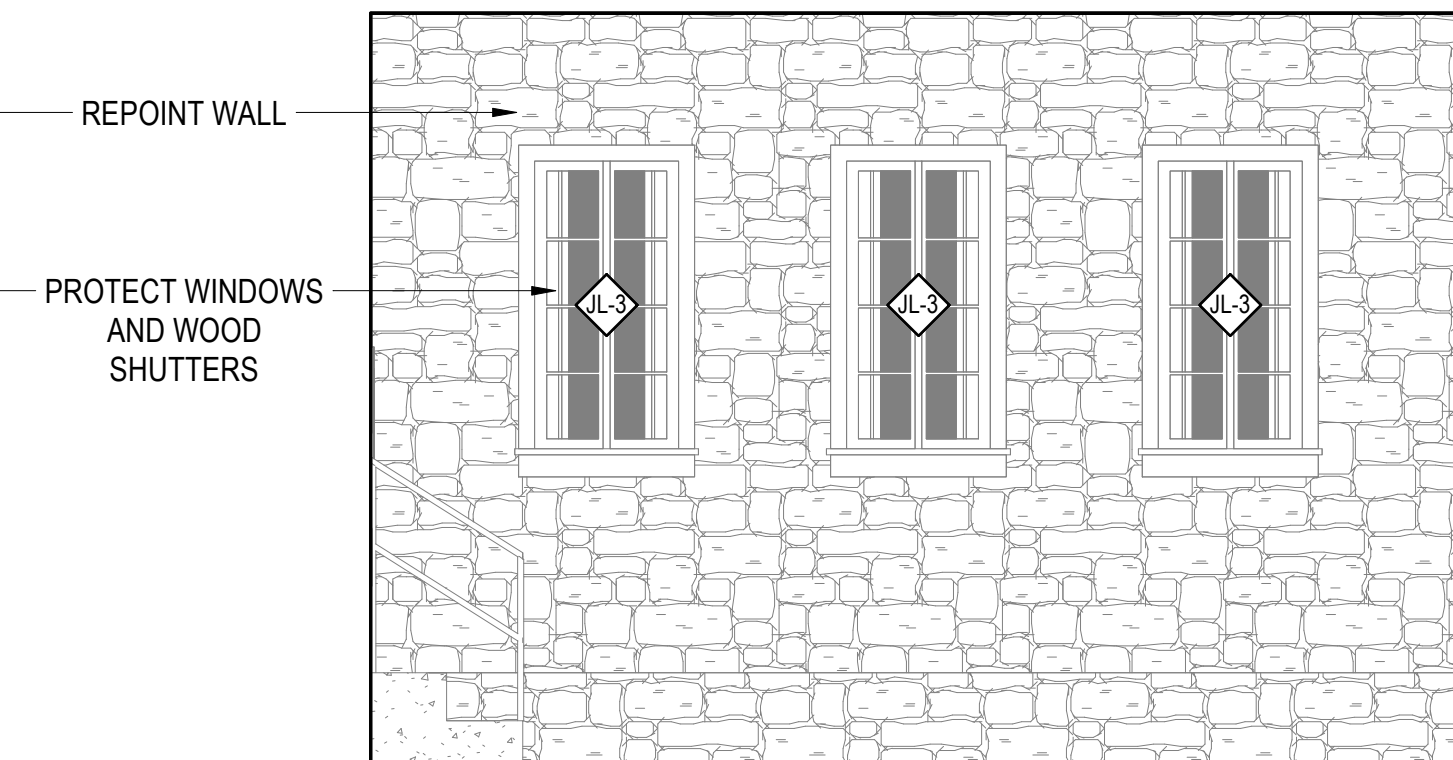


8 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"

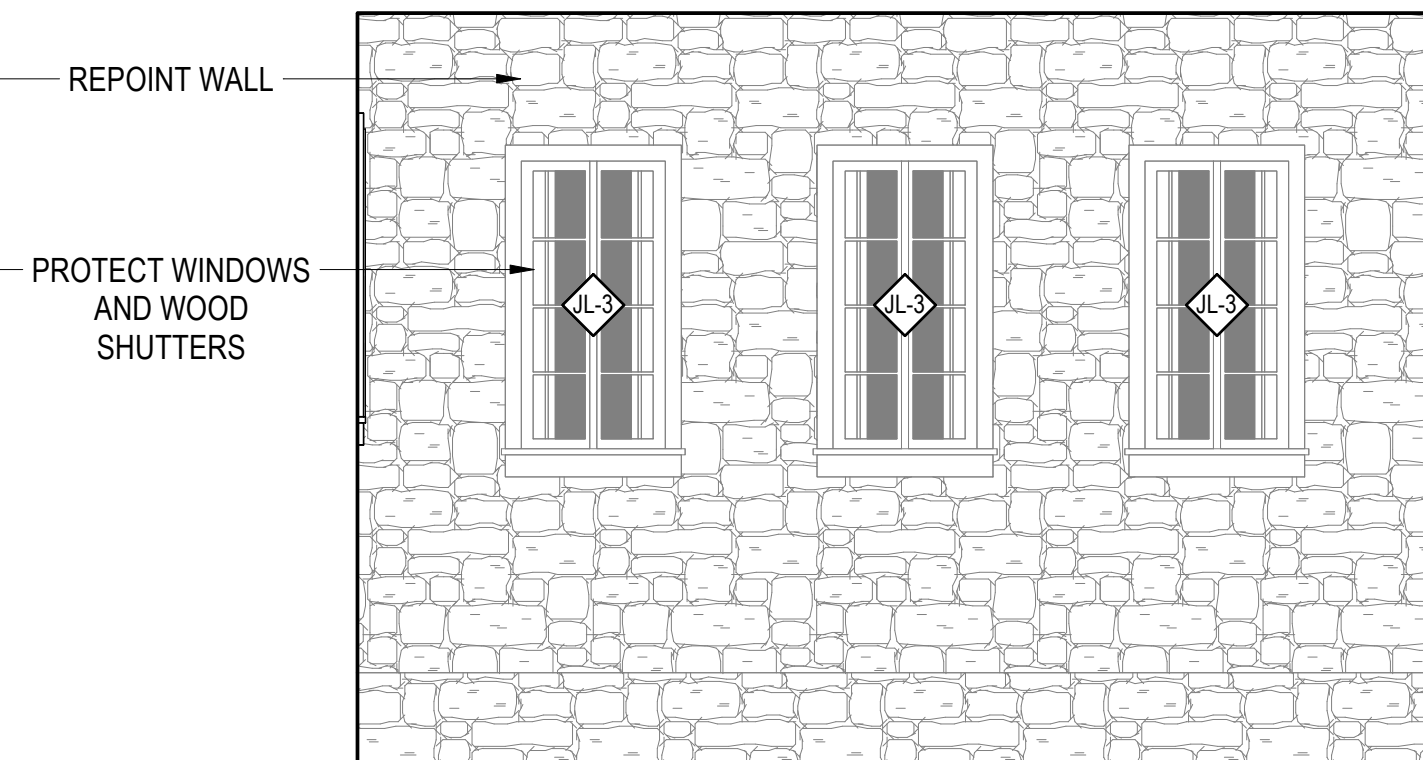
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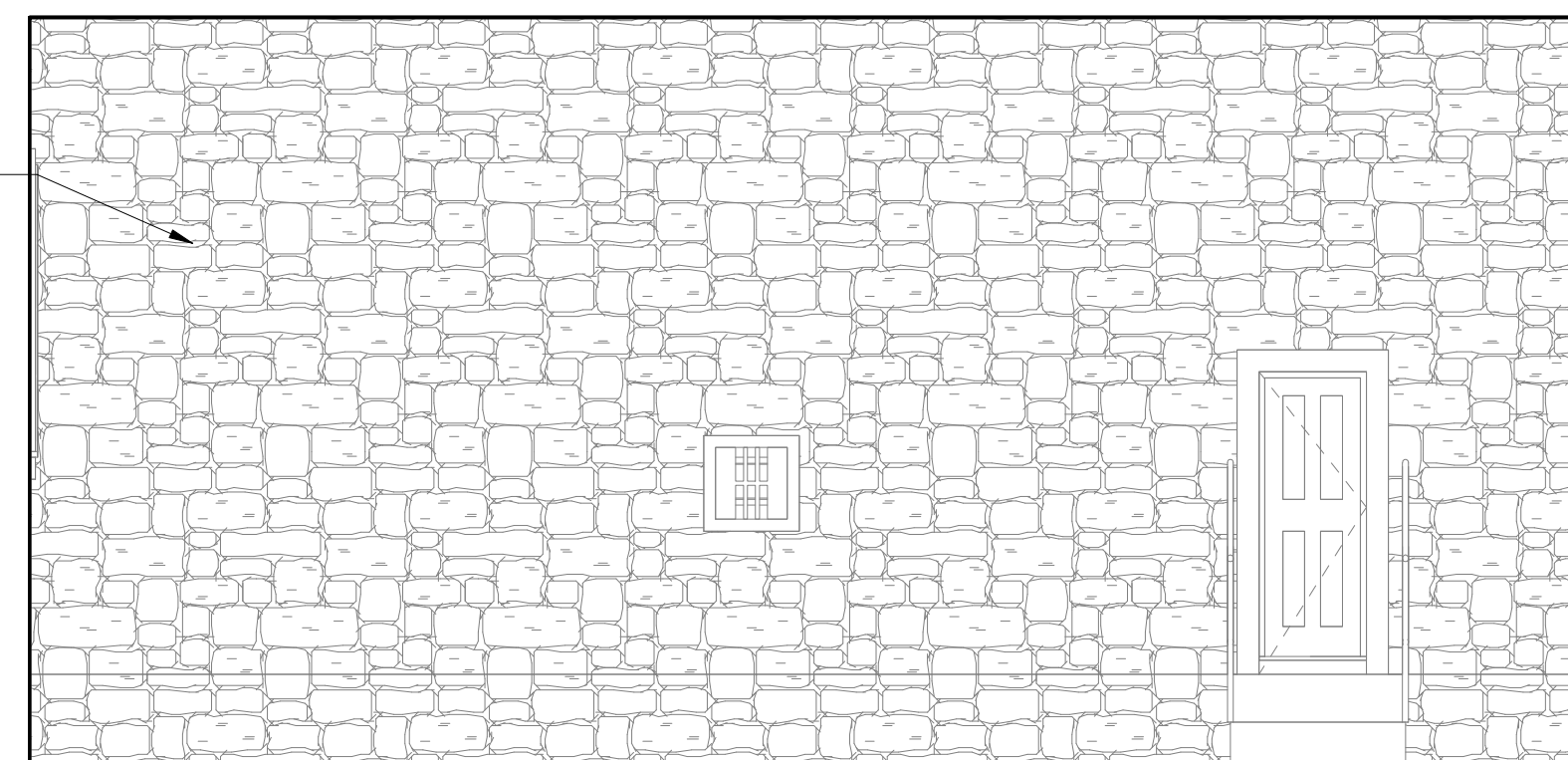
4 1881 JAIL - INTERIOR ELEVATION
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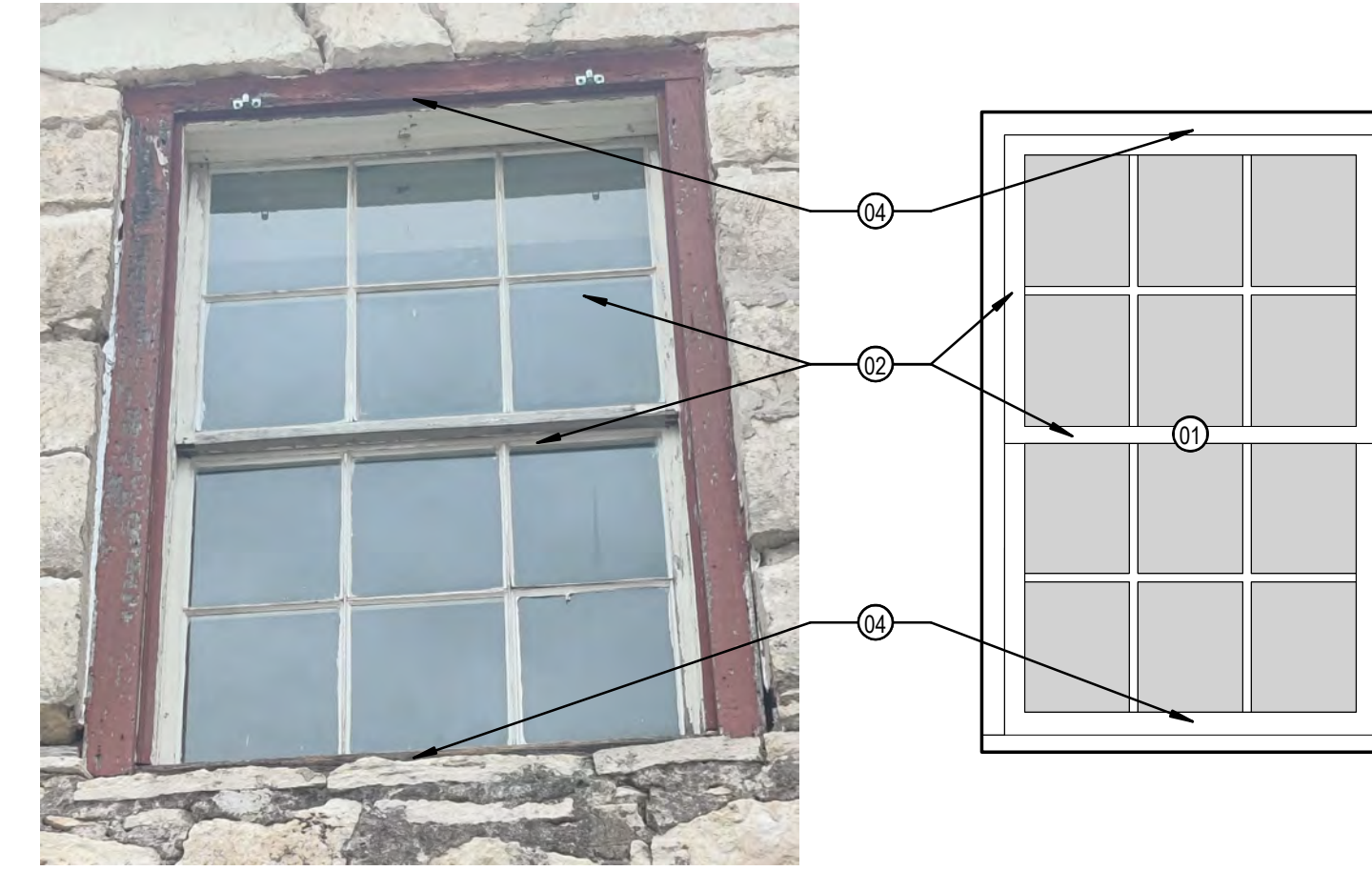
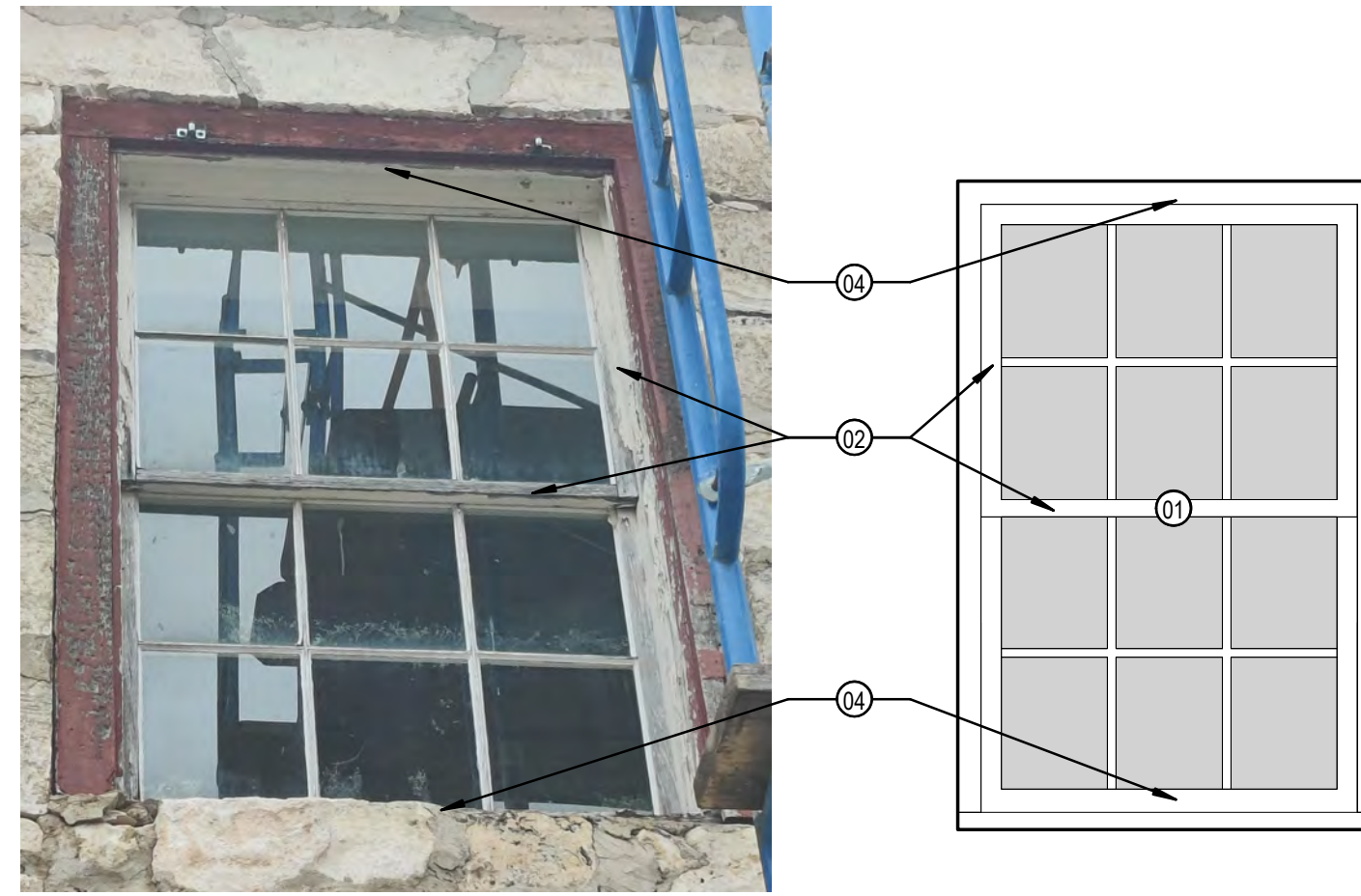
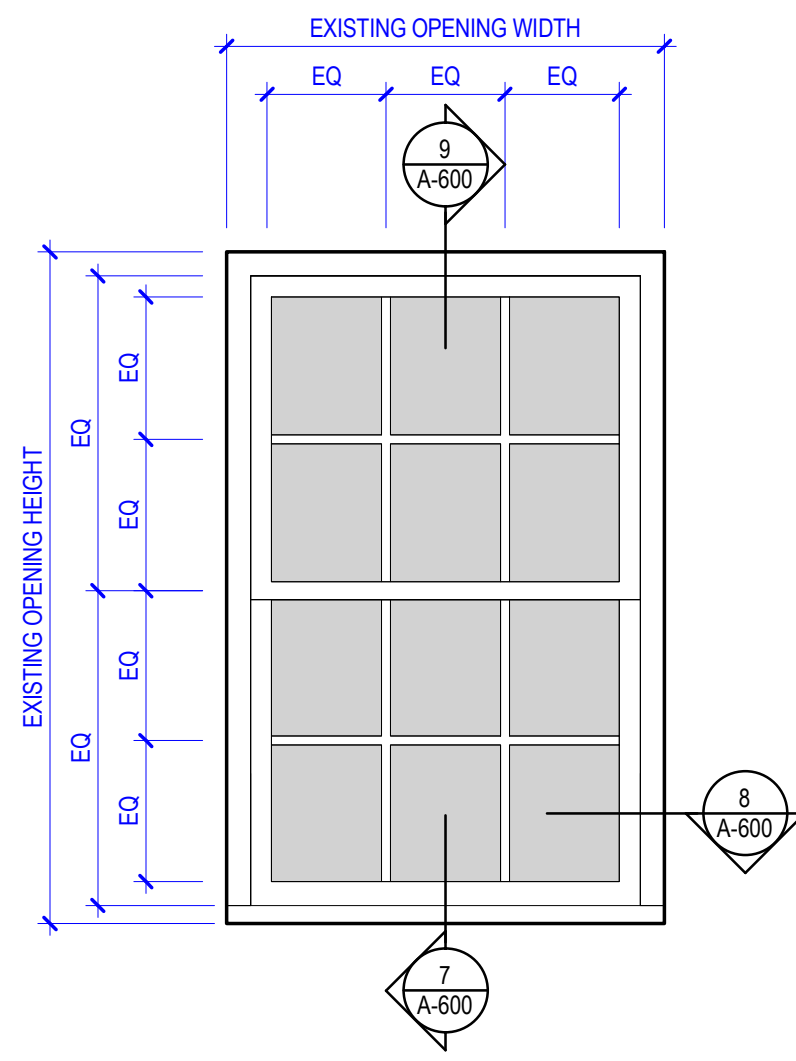
3 1881 JAIL - INTERIOR ELEVATION
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2 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"



1 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"



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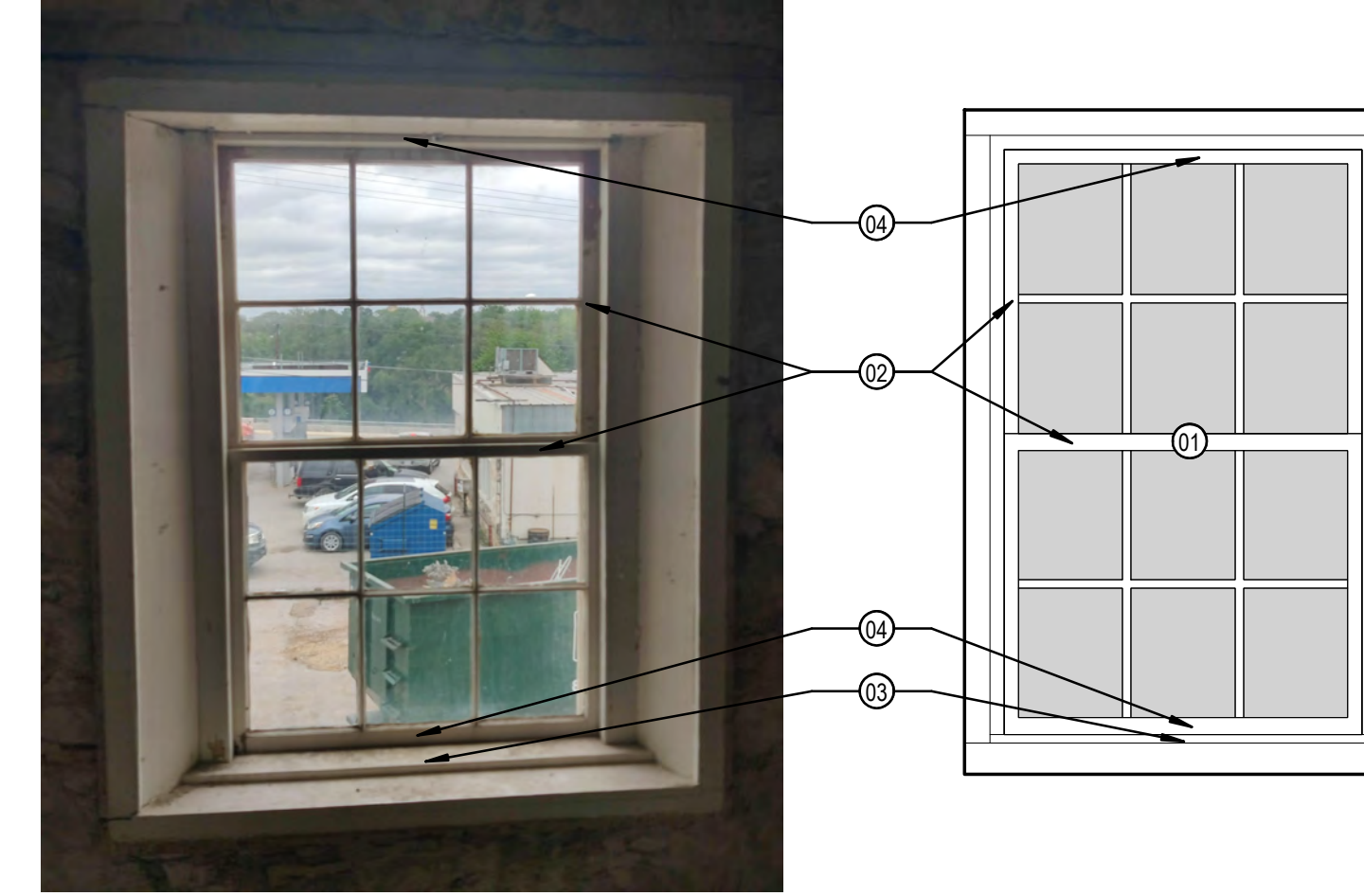
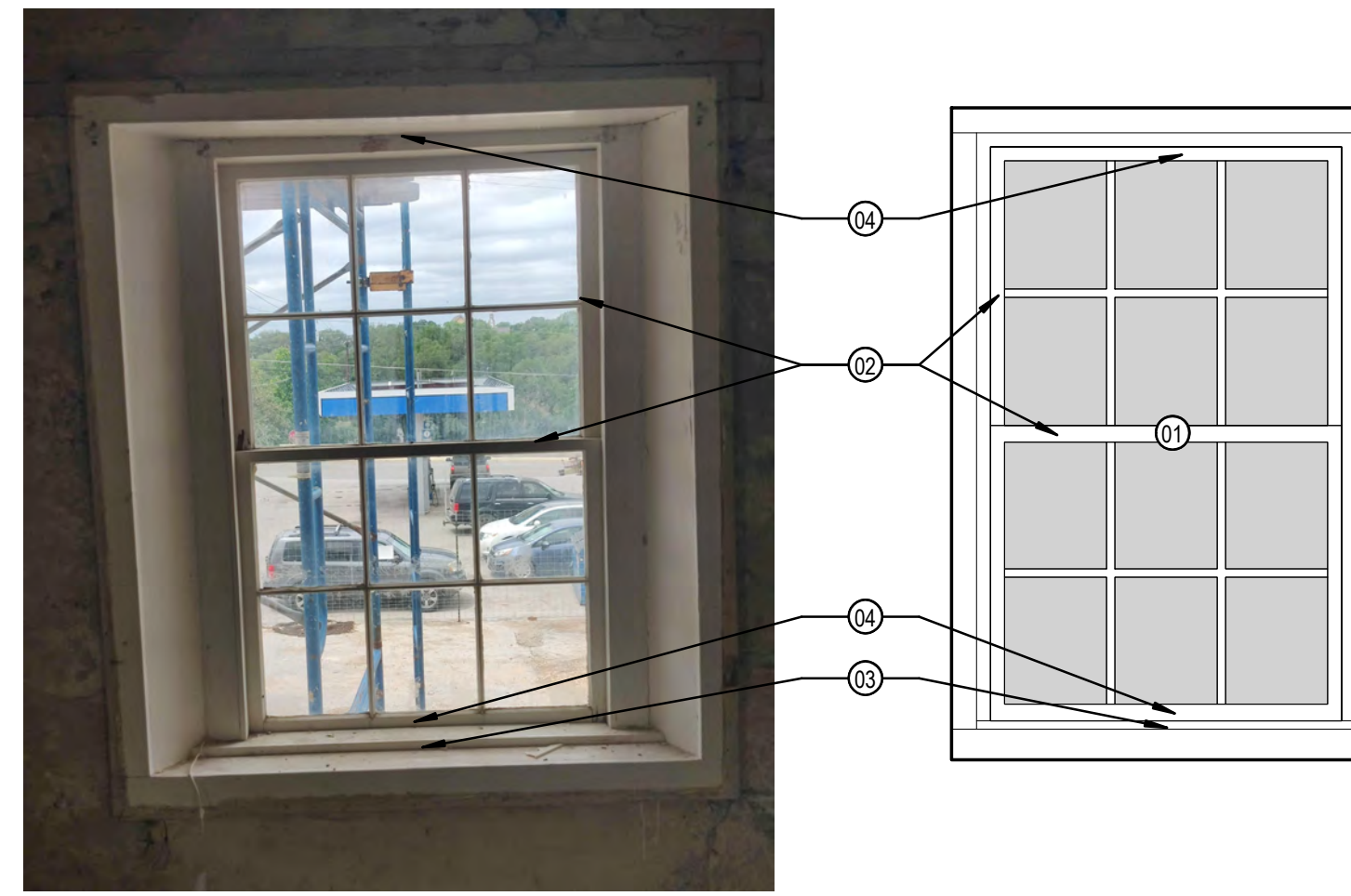
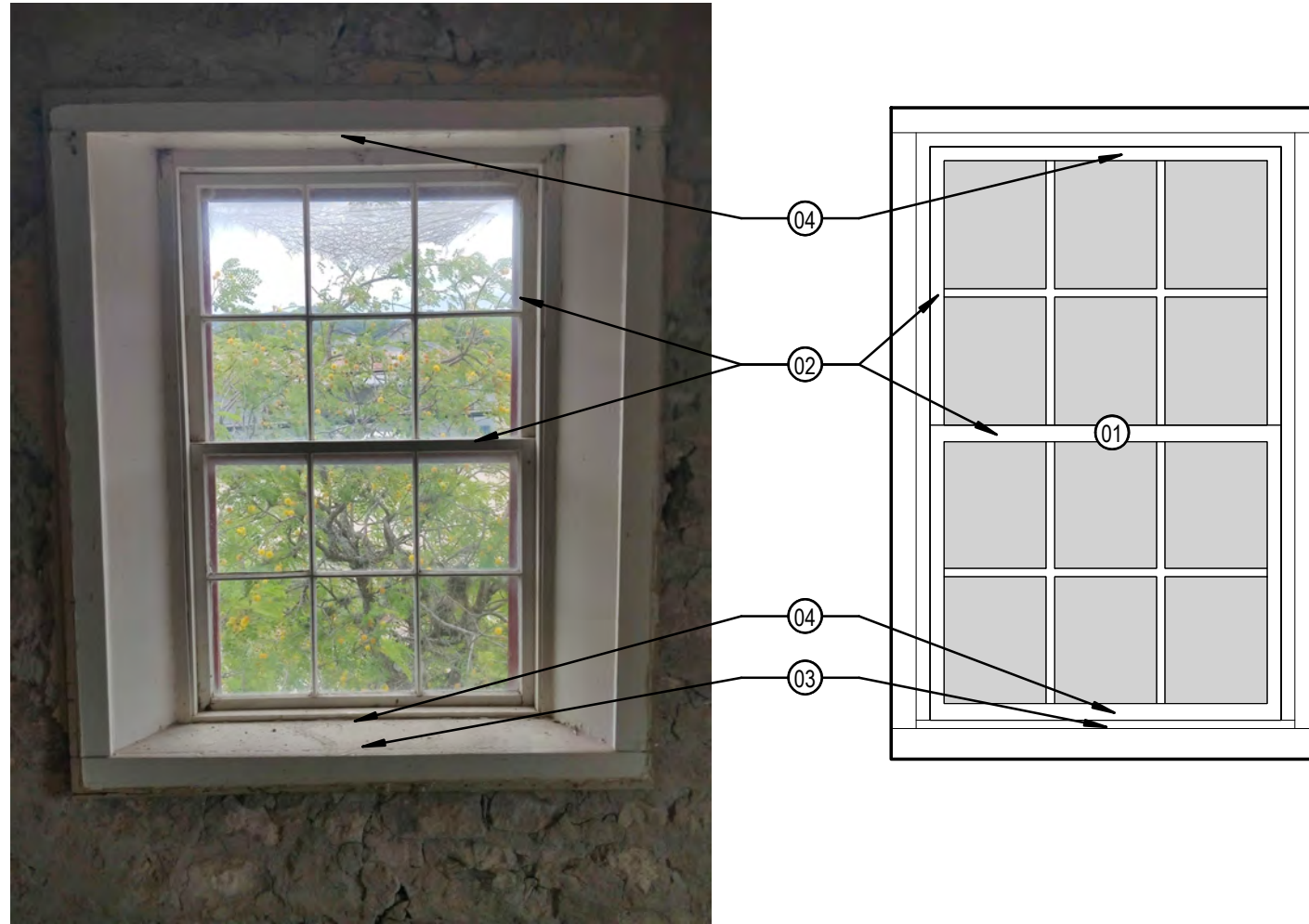
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1 TYPE-A
3/4" = 1'-0"

3 CH-2 EXTERIOR
3/4" = 1'-0"

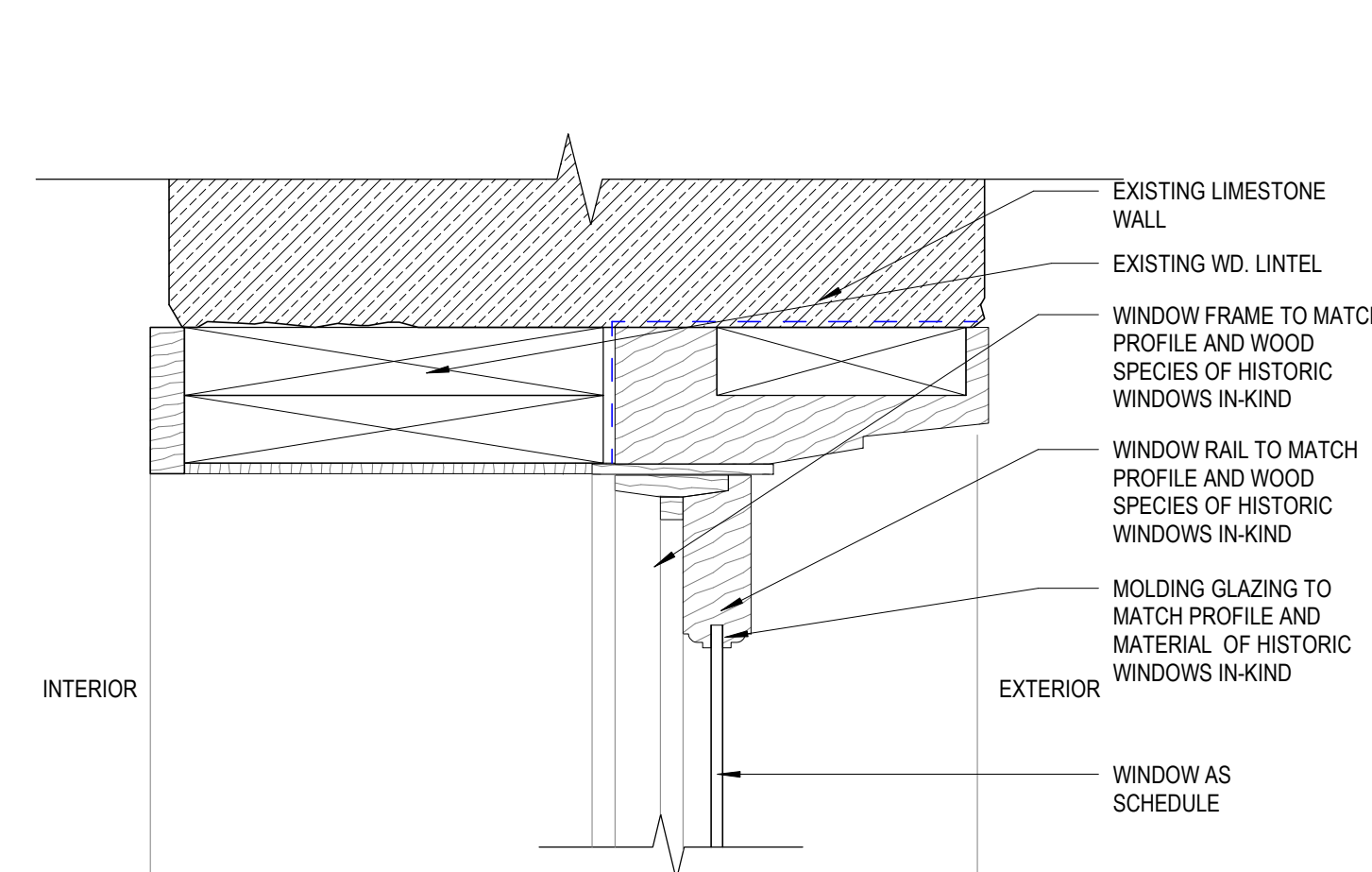
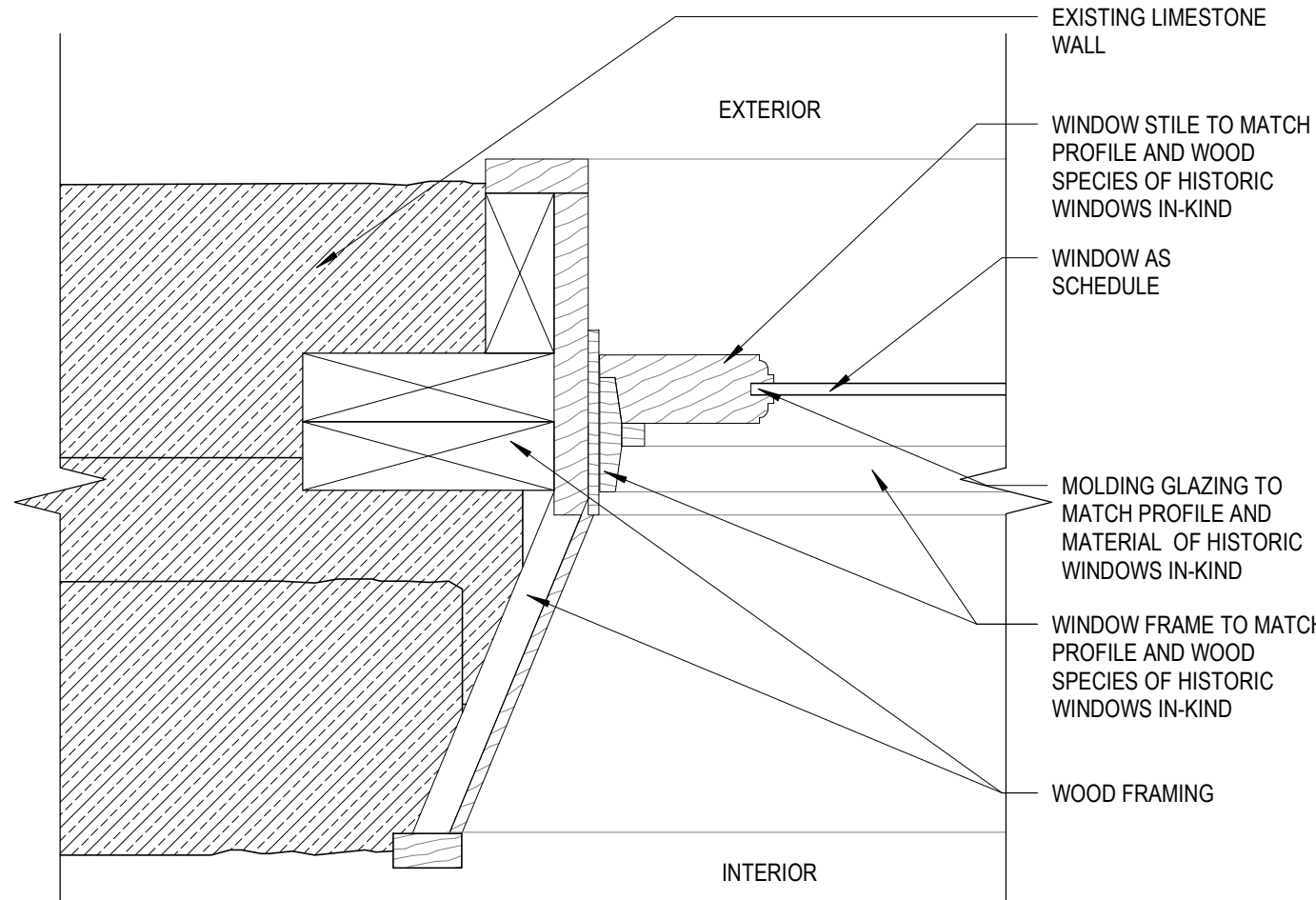
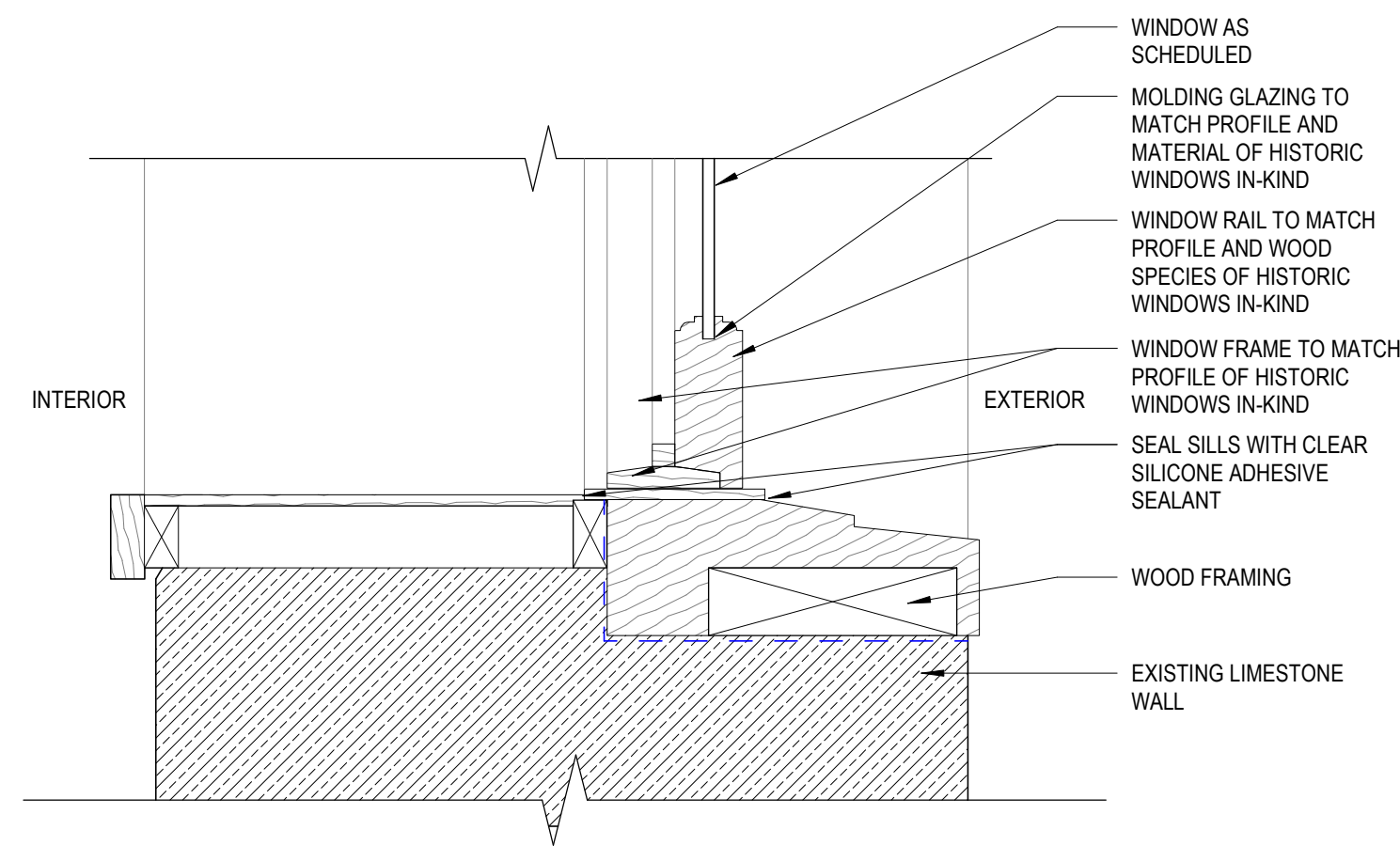
5 CH-3 EXTERIOR
3/4" = 1'-0"



2 CH-1 INTERIOR
3/4" = 1'-0"

4 CH-2 INTERIOR
3/4" = 1'-0"

6 CH-3 INTERIOR
3/4" = 1'-0"

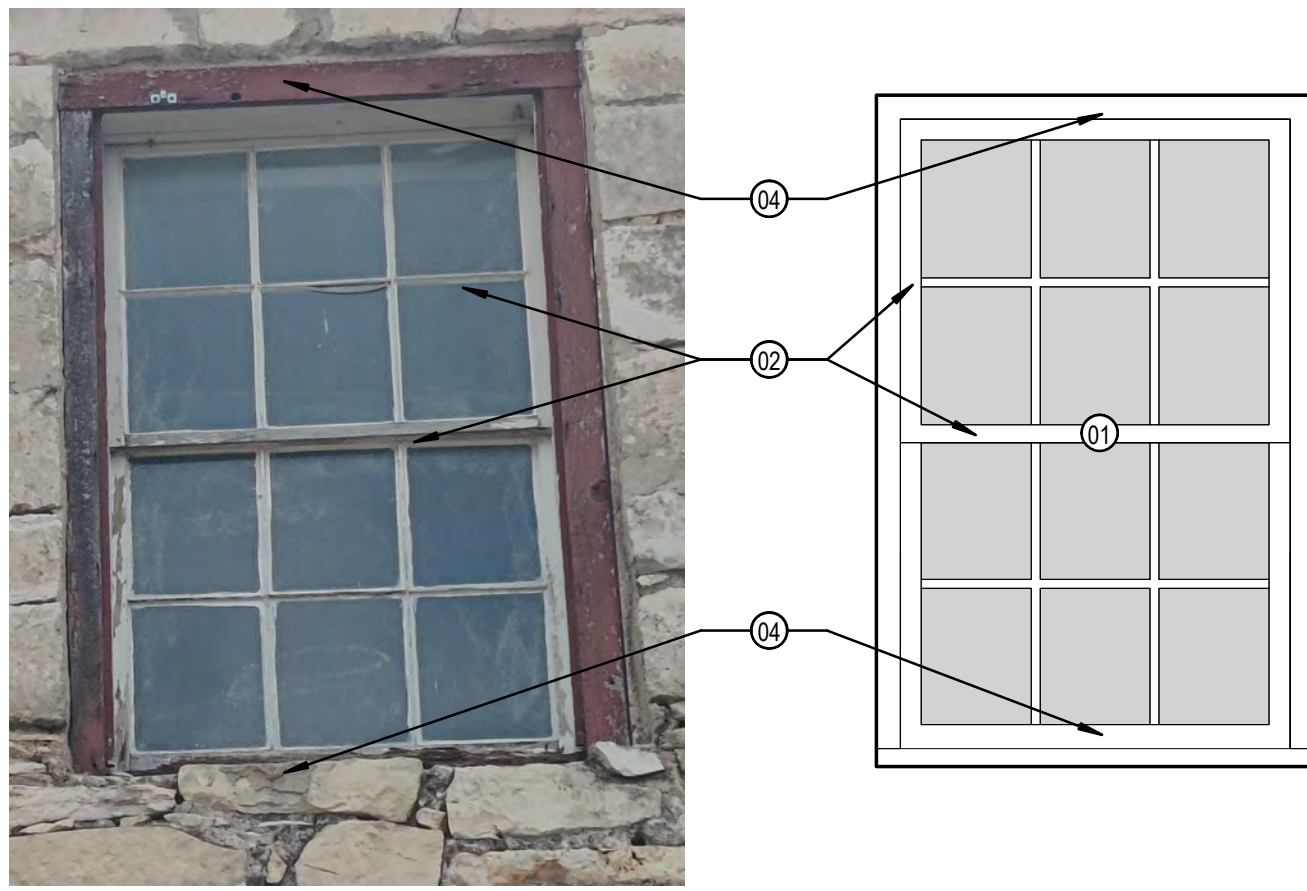


7 WINDOW SILL DETAIL
3" = 1'-0"

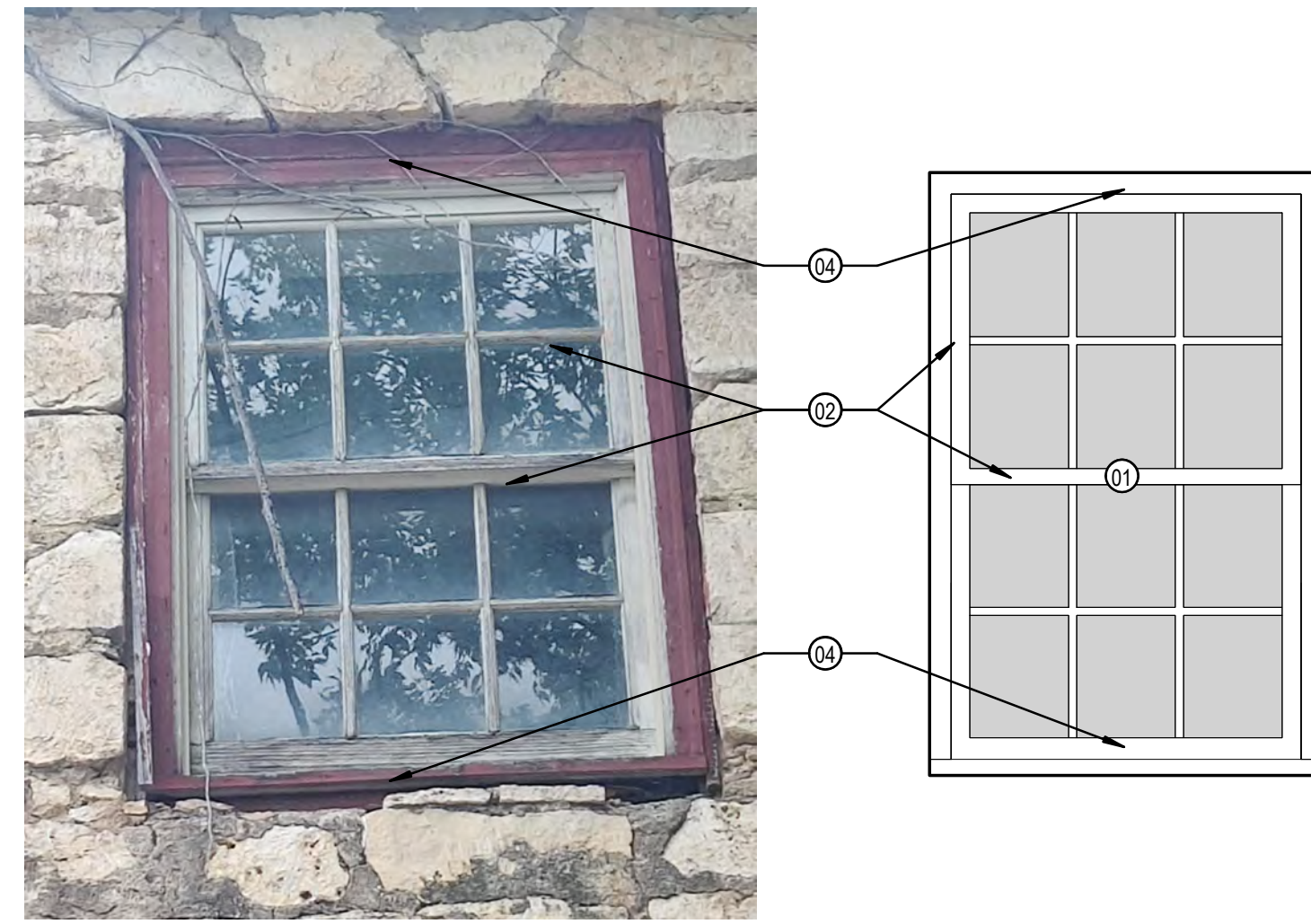
8 WINDOW JAMB DETAIL
3" = 1'-0"

9 WINDOW HEAD DETAIL
3" = 1'-0"

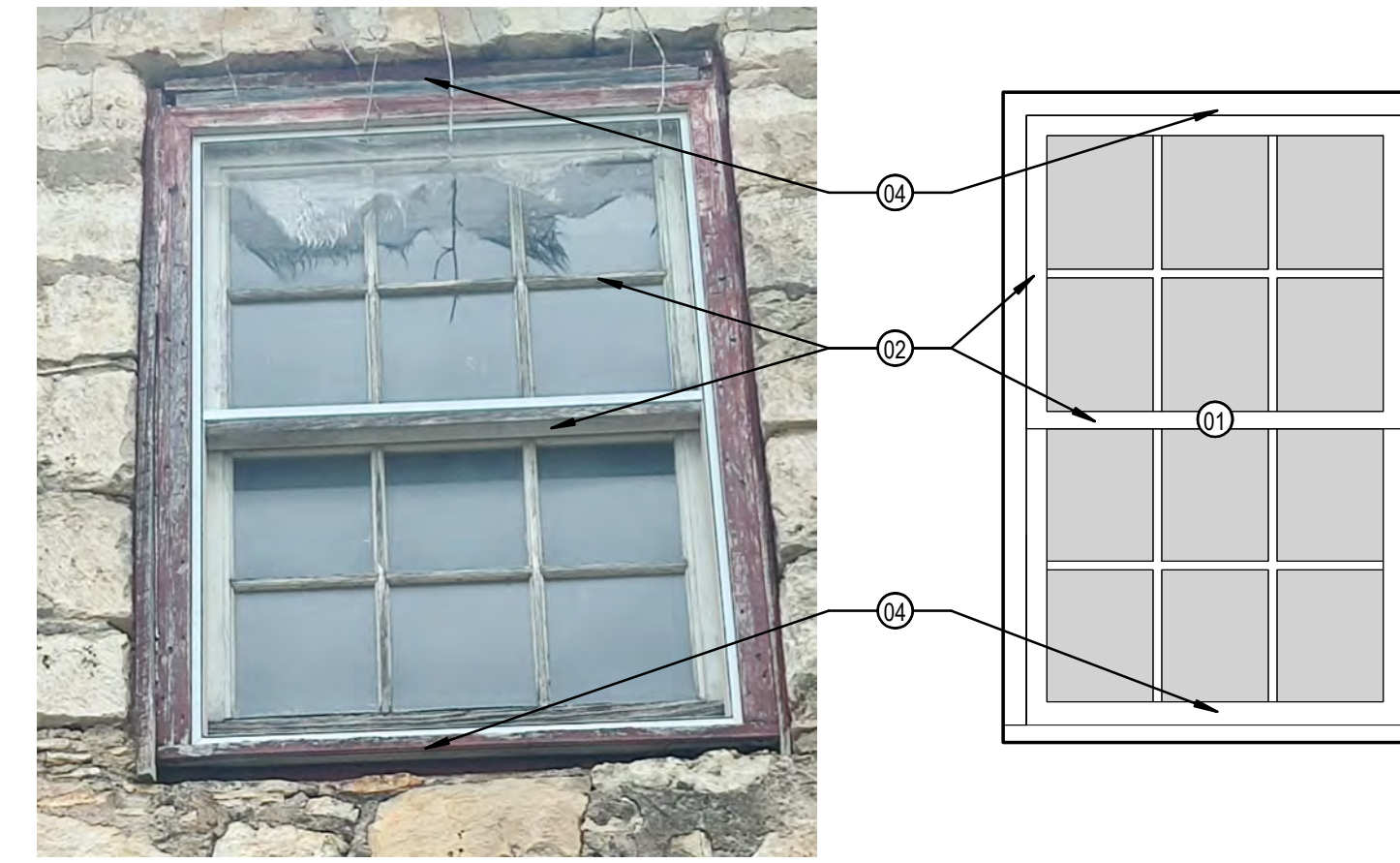
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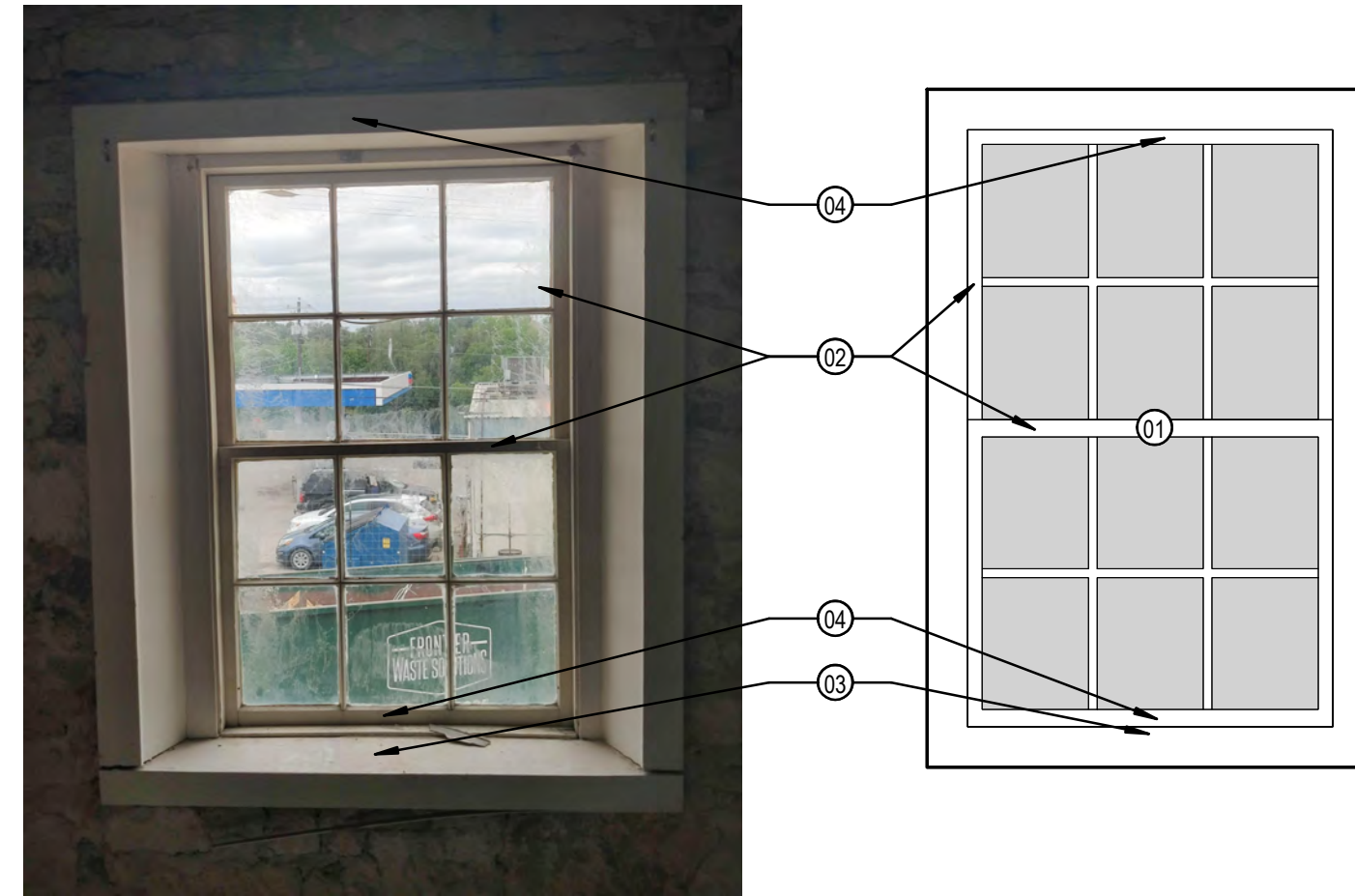
1 CH-4 EXTERIOR
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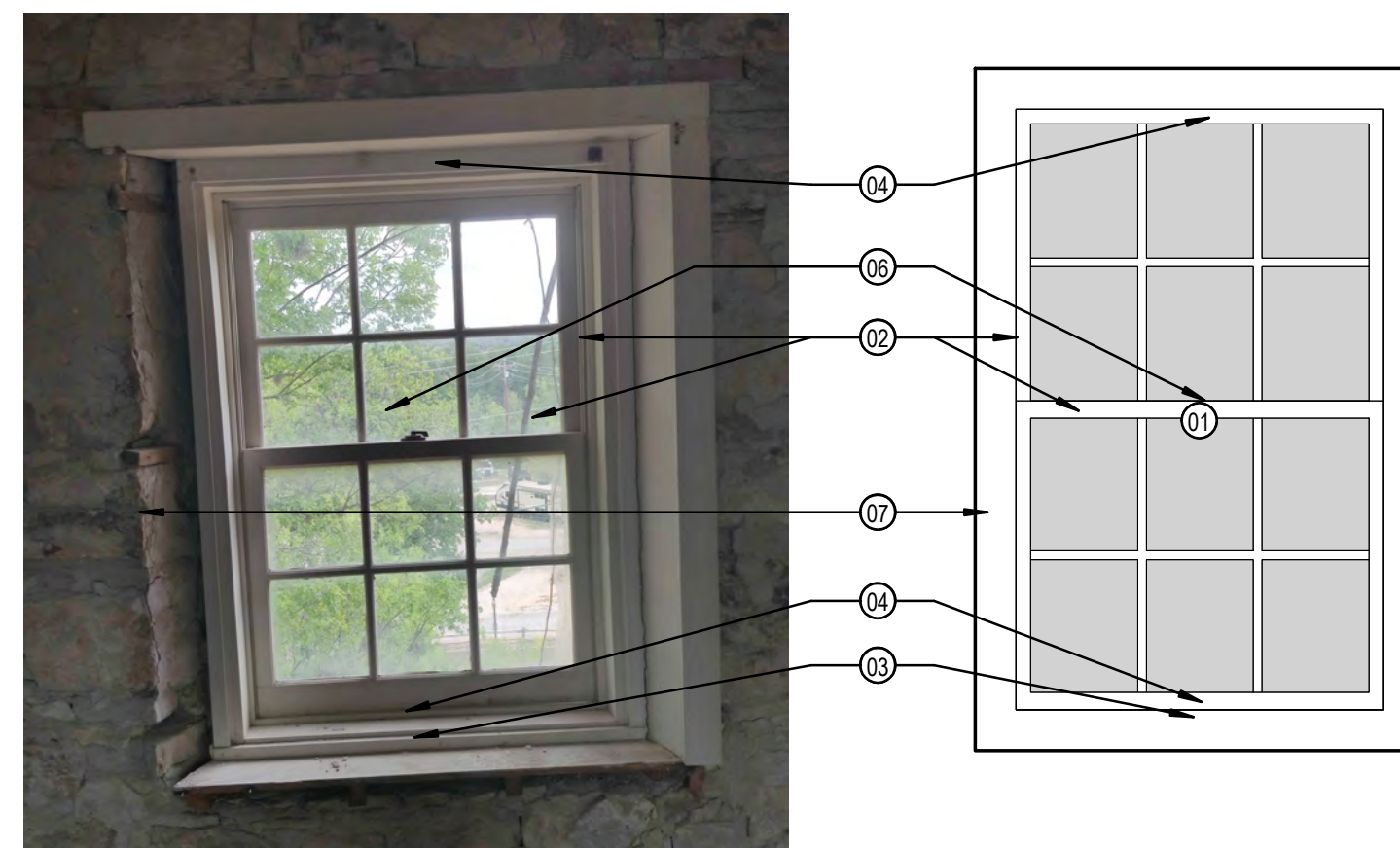
3 CH-5 EXTERIOR
3/4" = 1'-0"



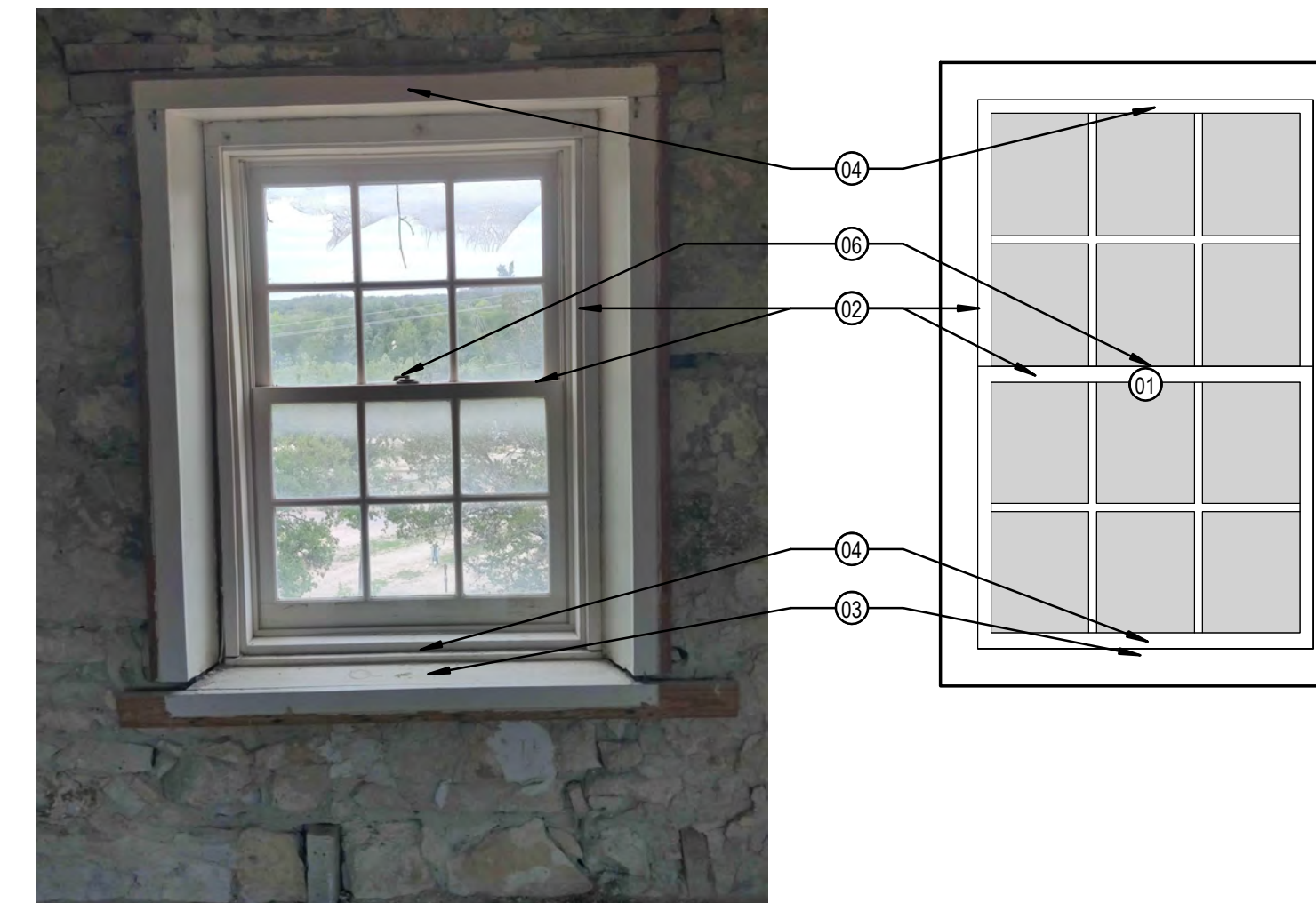
5 CH-6 EXTERIOR
3/4" = 1'-0"



2 CH-4 INTERIOR
3/4" = 1'-0"



4 CH-5 INTERIOR
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6 CH-6 INTERIOR
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Fisher Heck
ARCHITECTS

915 SOUTH MARY'S STREET
SAN ANTONIO, TEXAS 78205
210-299-1500

REGISTERED ARCHITECT
STATE OF TEXAS
29925

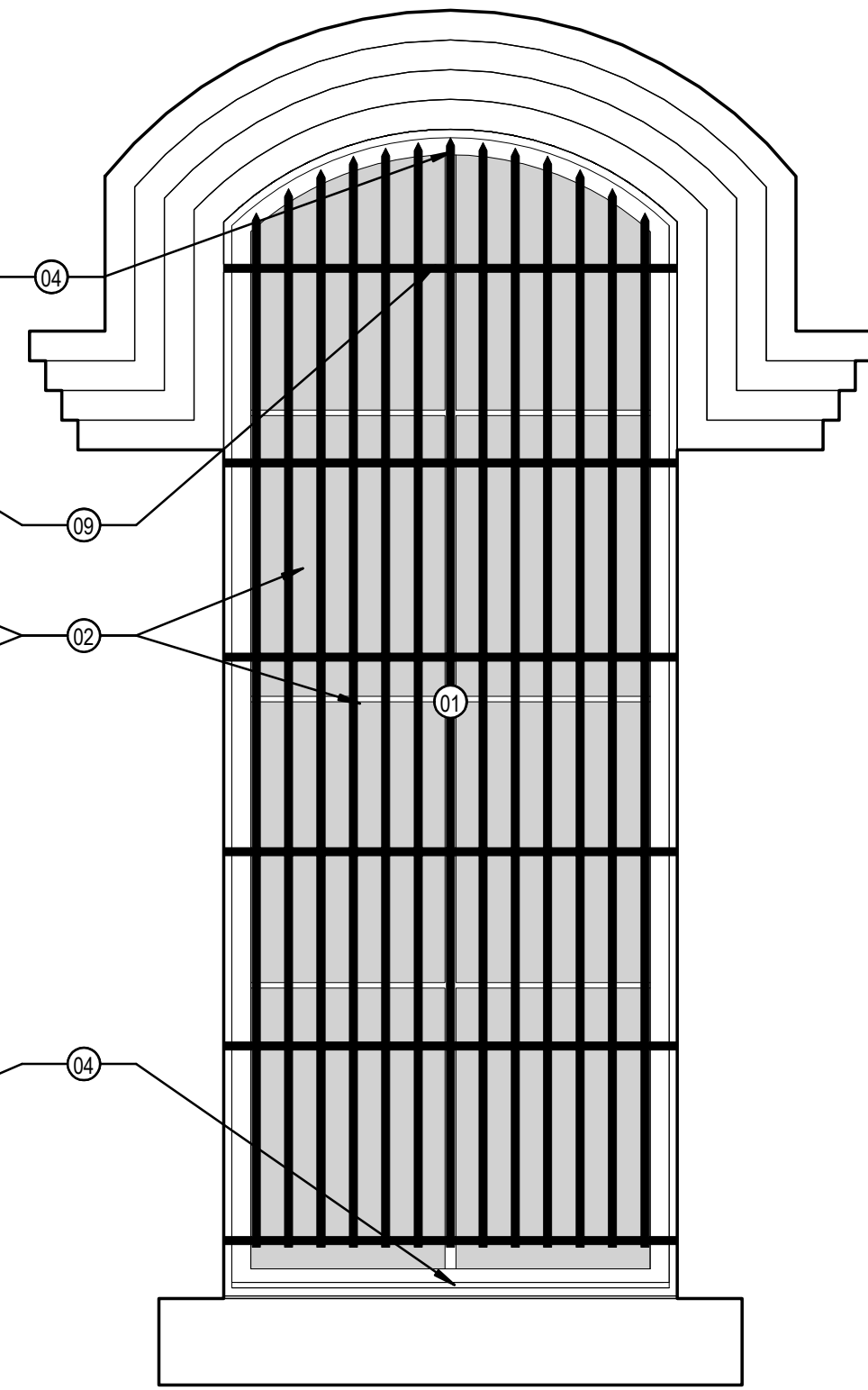
11/01/24

PROJECT: BANDERA COUNTY VISITOR CENTER
SHEET TITLE: WINDOW REHABILITATION DETAILS - 1877 COURTHOUSE

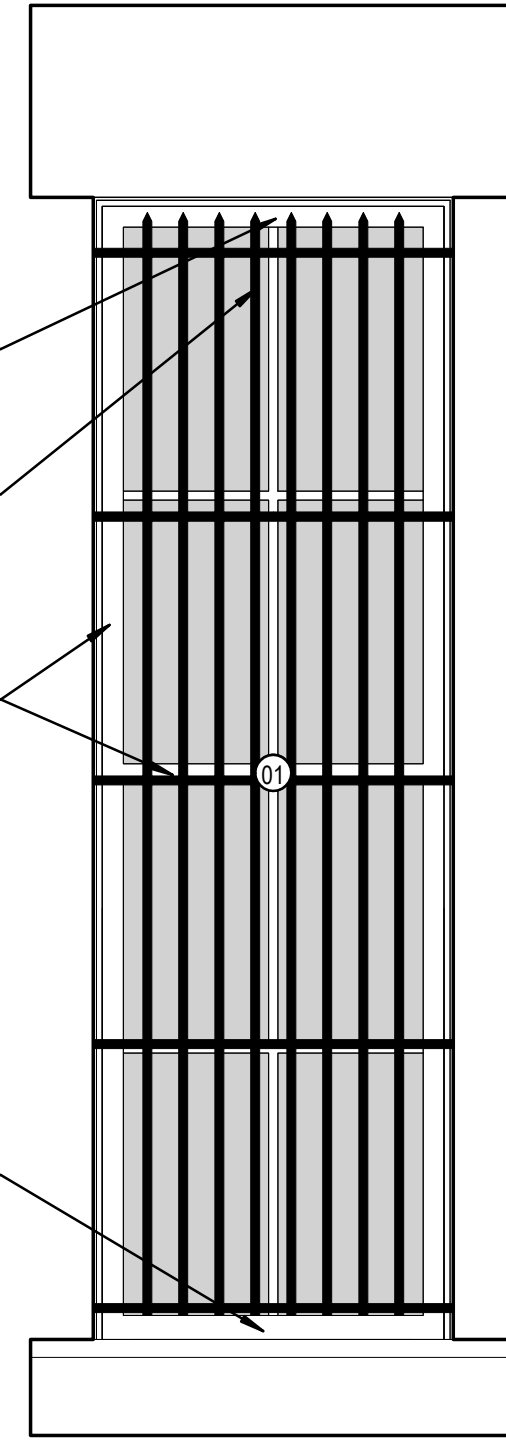
PROJECT NO: 2301 A1

| REVISIONS | DATE |
|------------|-----------|
| 1 RE-ISSUE | 11/1/2024 |

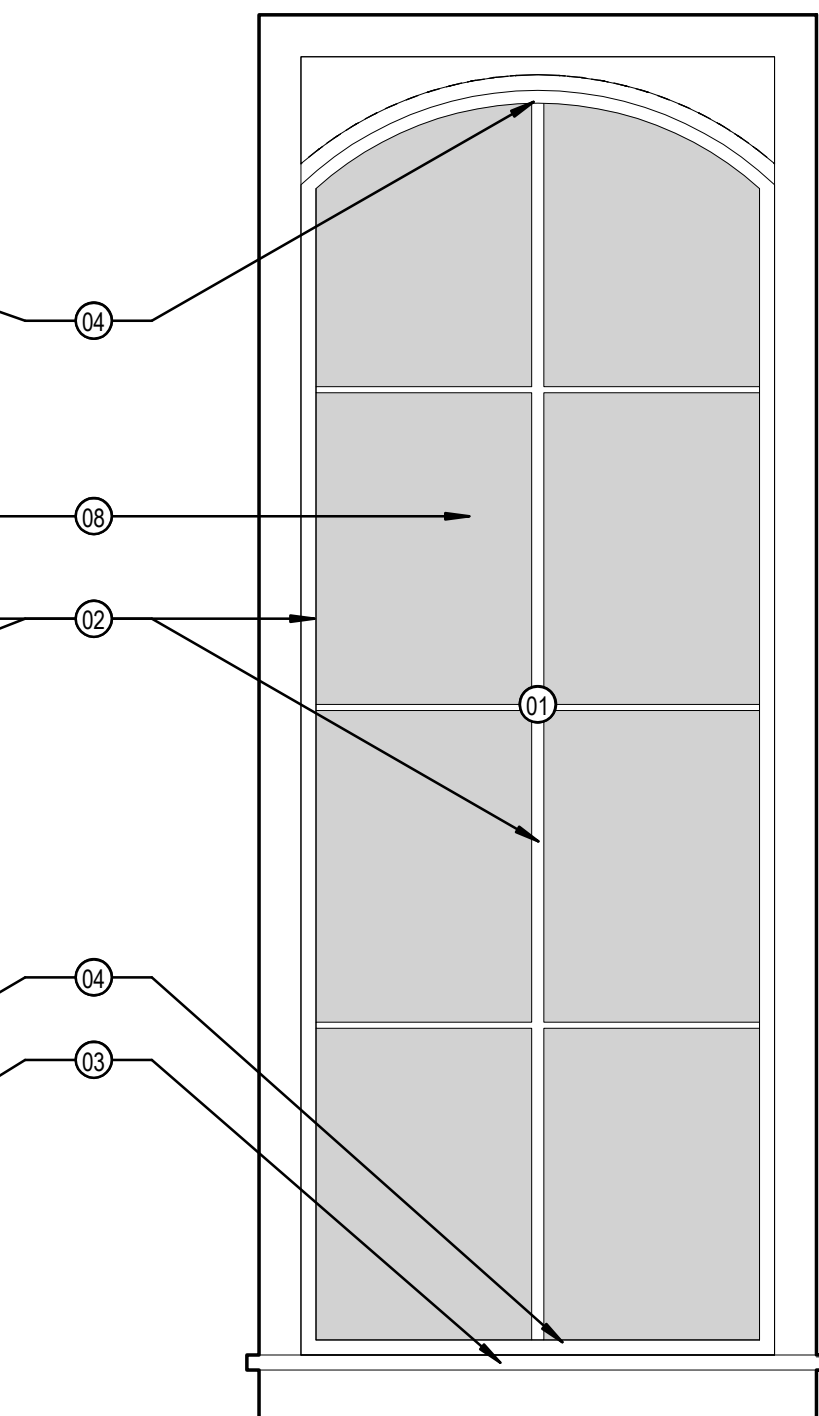
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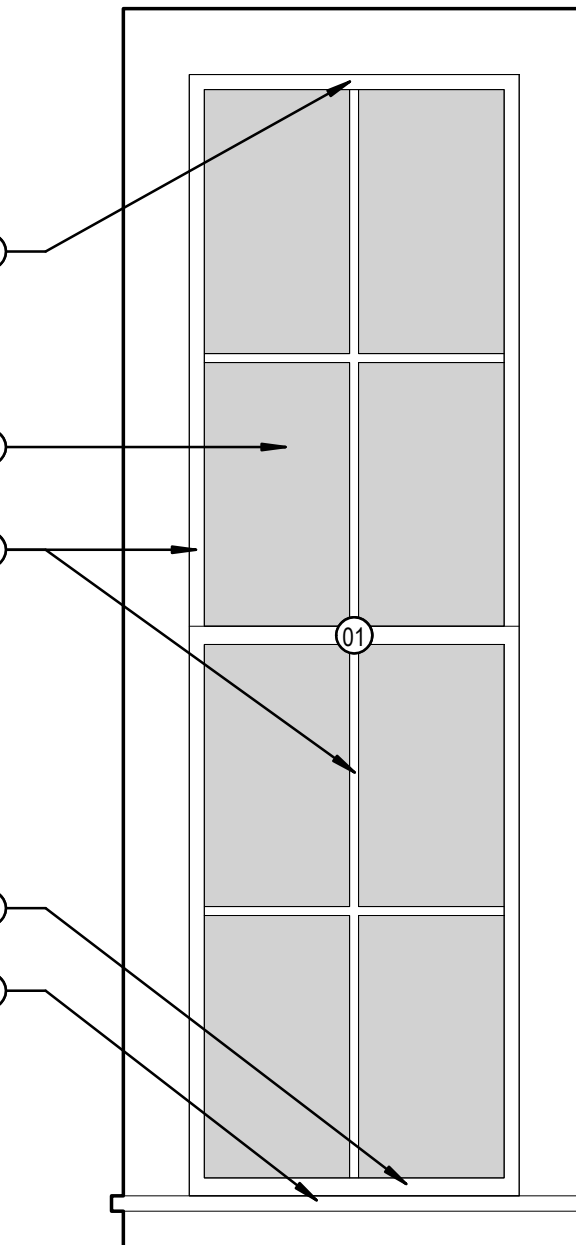
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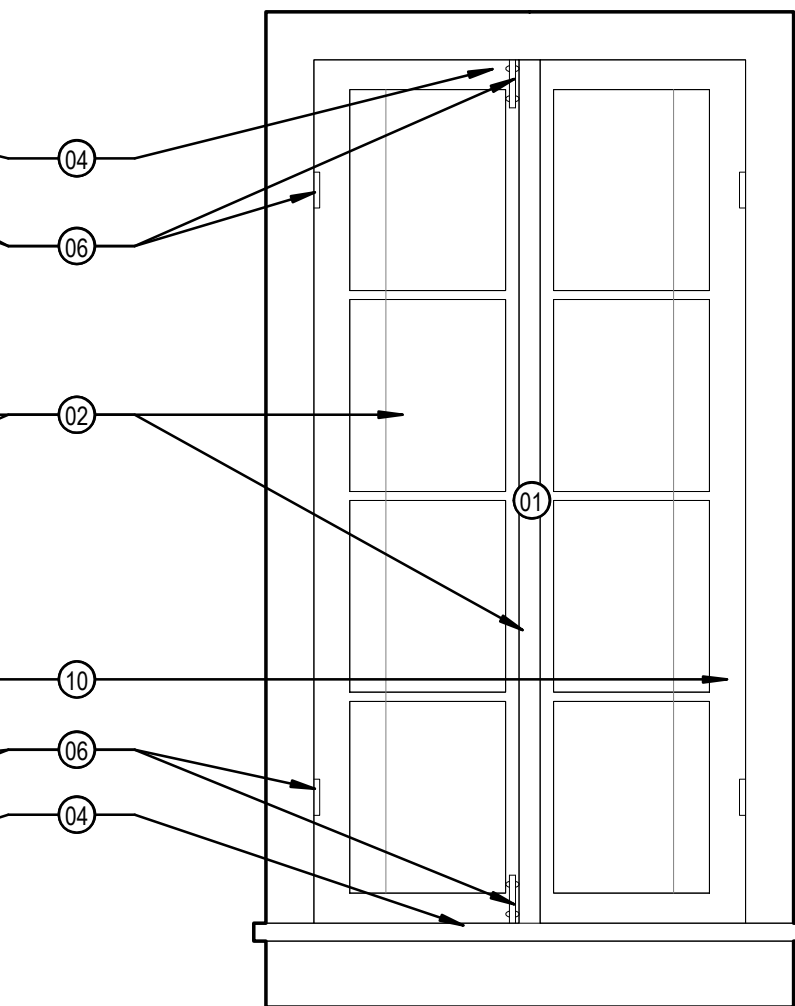
3 JL-2 EXTERIOR
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3/4" = 1'-0"



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5 JL-3 INTERIOR
3/4" = 1'-0"

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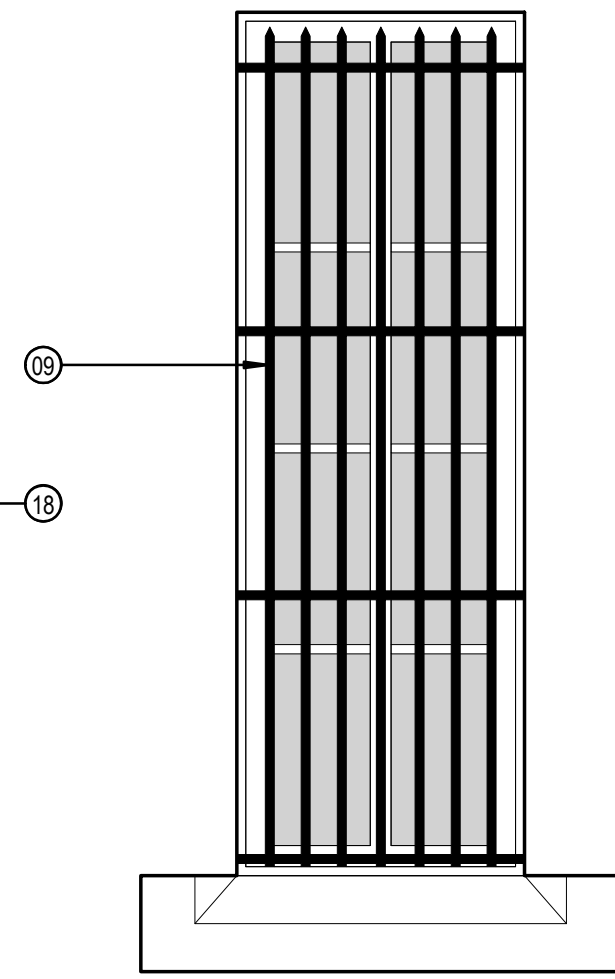
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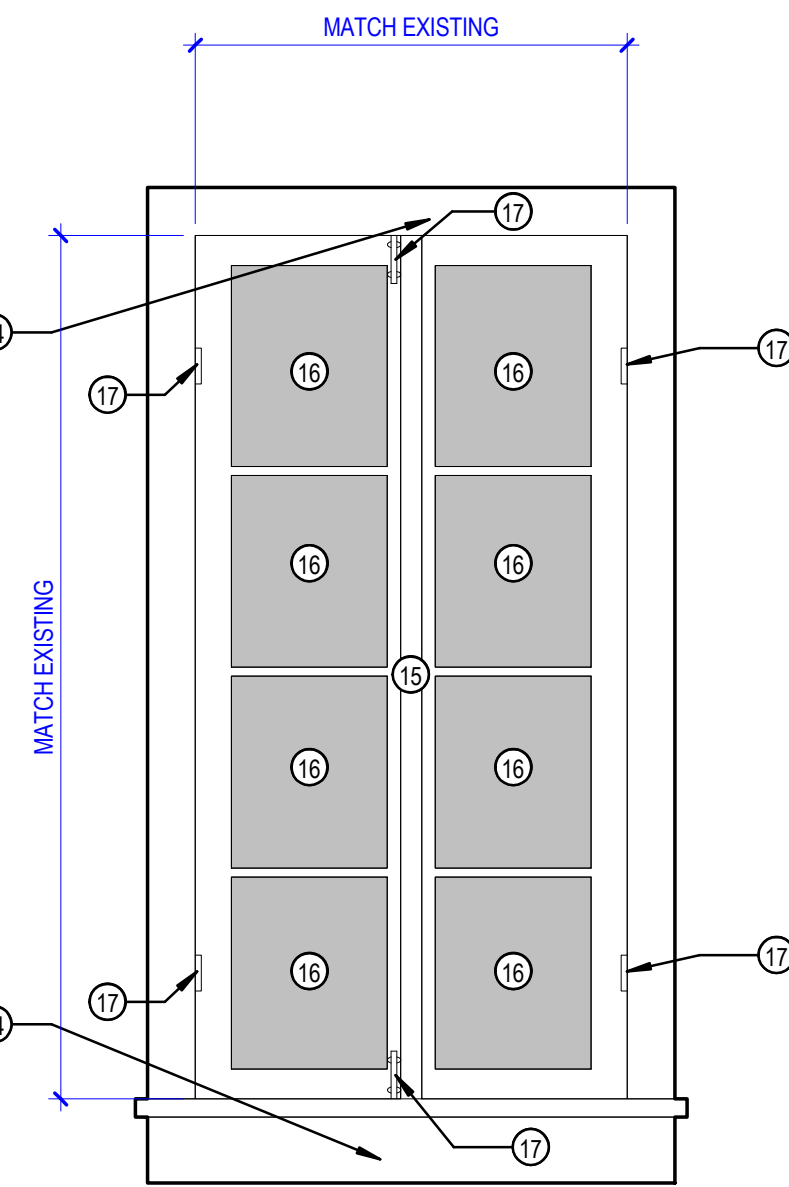
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11/01/24



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3/4" = 1'-0"

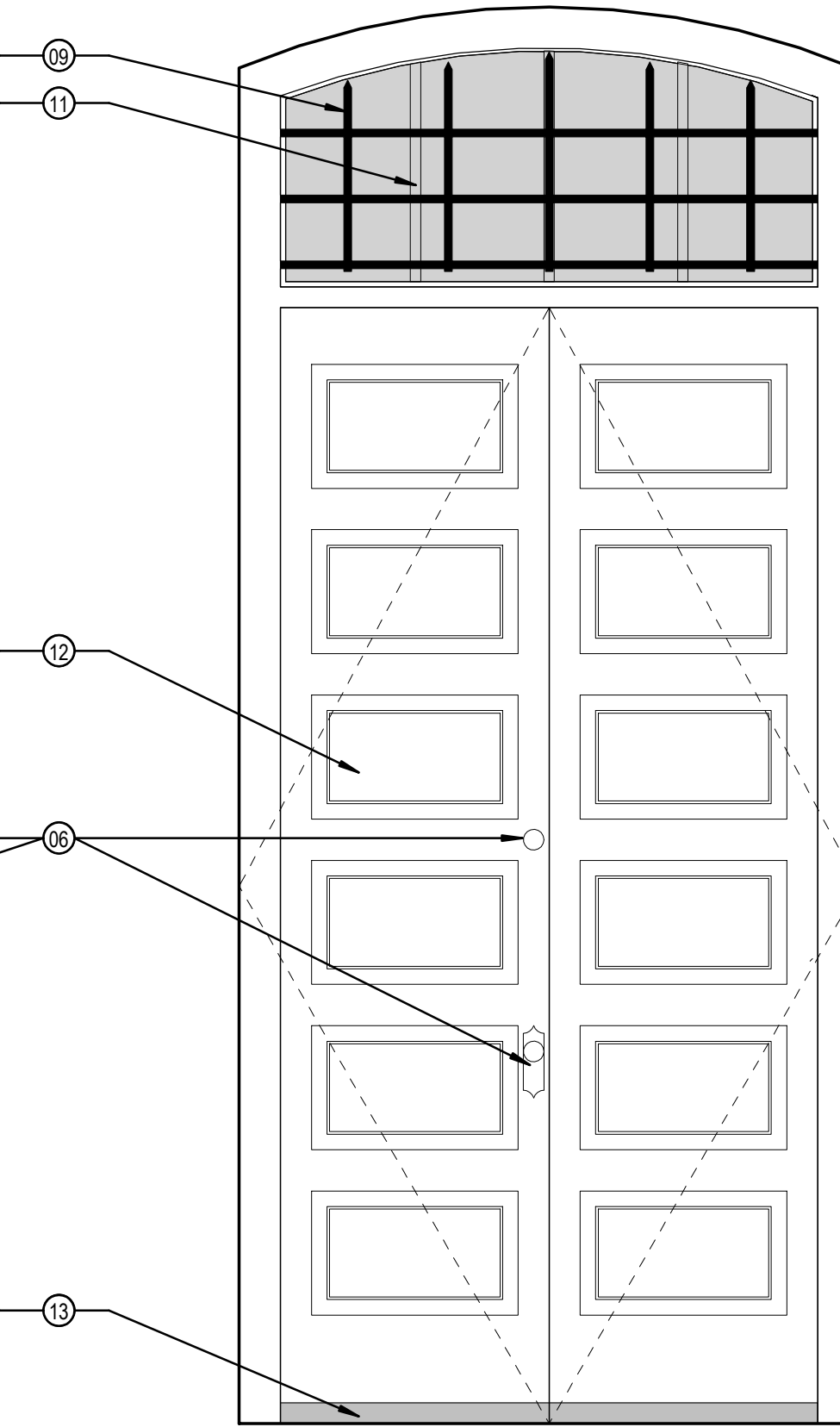


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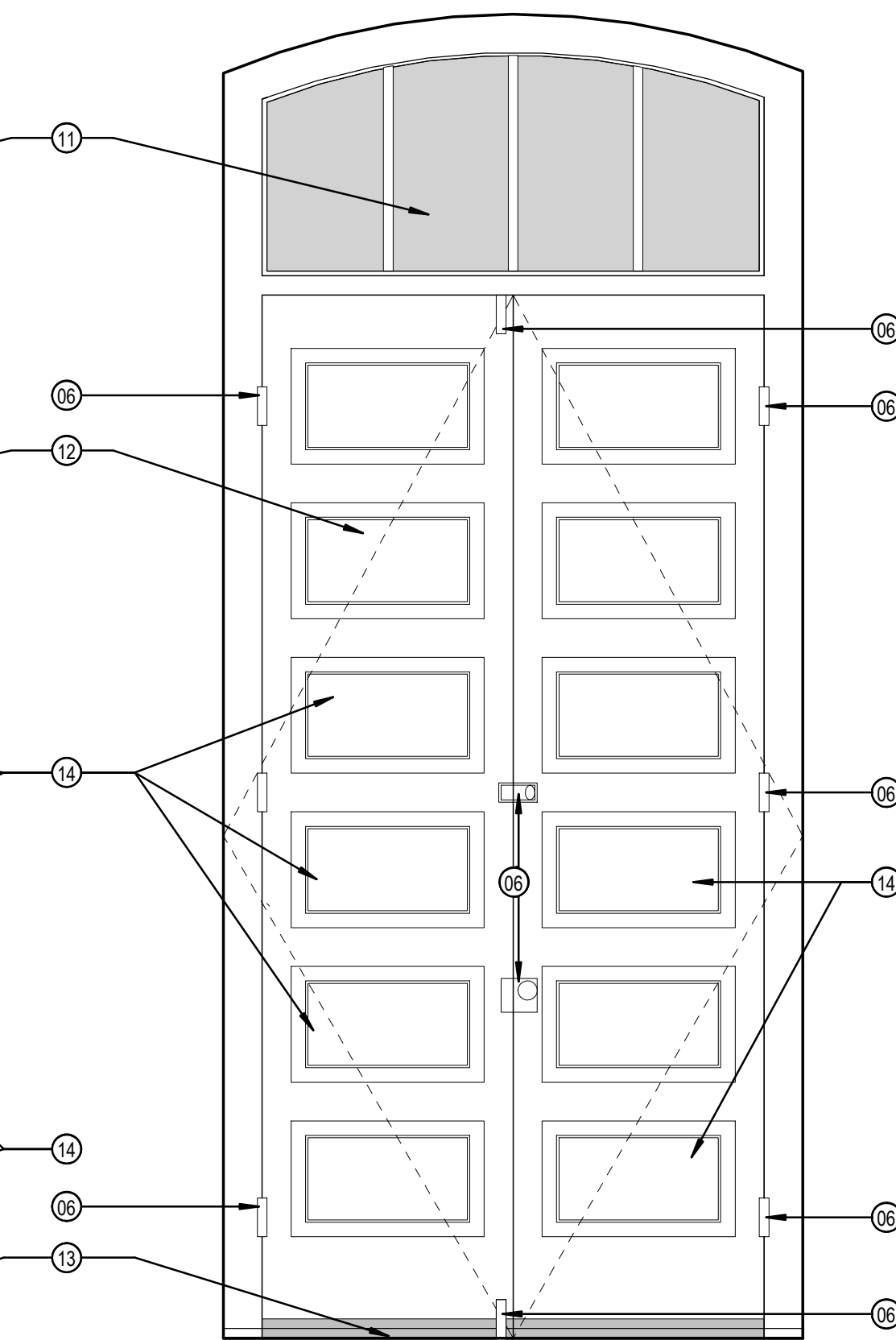
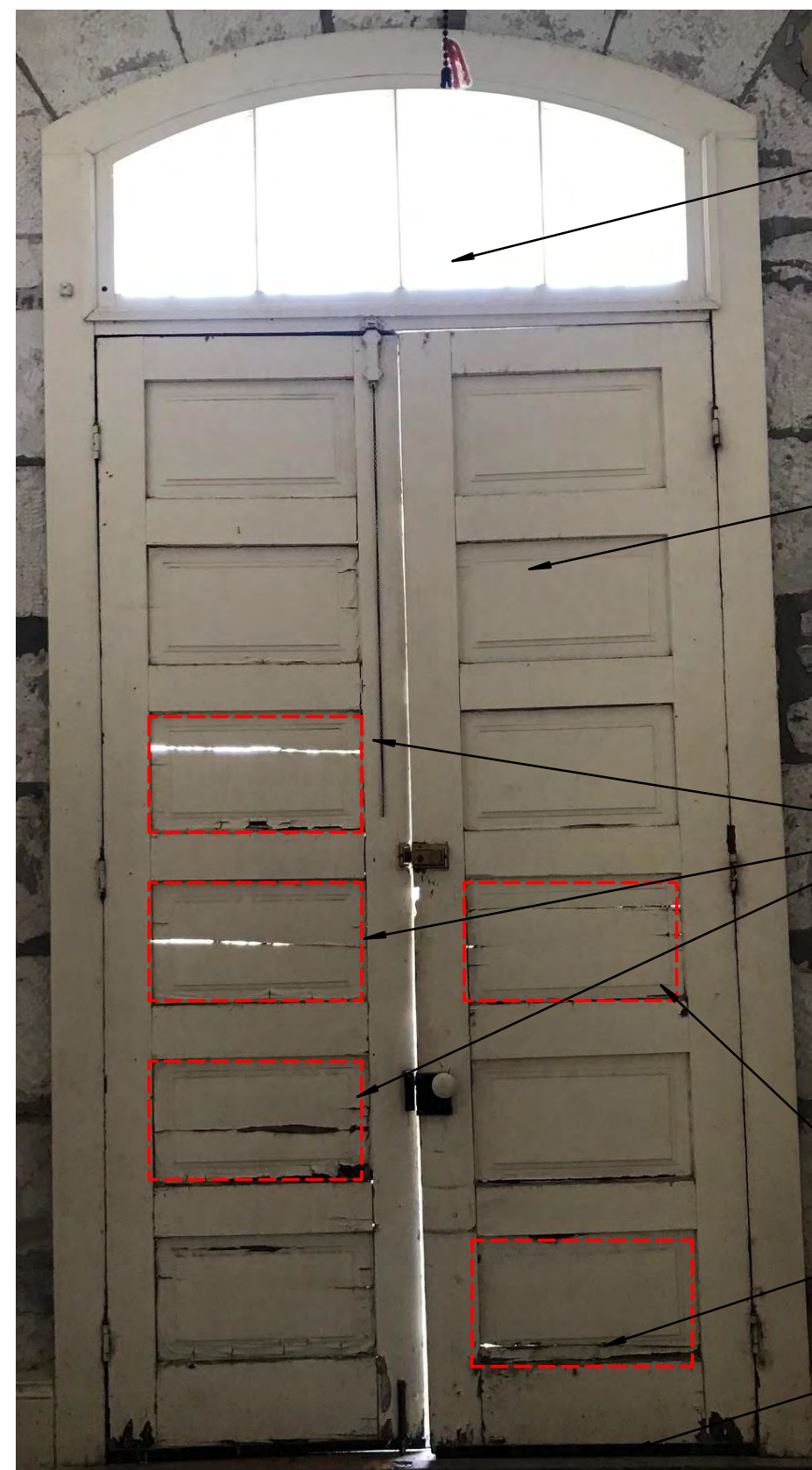
DOOR HARDWARE SET ALTERNATE

| NUMBER | HARDWARE SET | COMMENTS |
|--------|--------------|----------|
| C-100 | LS-1 [1,2] | |
| C-101 | LS-1 [1,2] | |
| C-102 | LS-1 [1,2] | |
| J-100 | LS-2 [1,3] | |

| LEGEND | COMMENTS |
|-------------------------------|--|
| HARDWARE TYPES | |
| LS-1: LOCKSET; REFER TO SPECS | [1] REPLACE EXISTING HARDWARE PER SCHEDULE |
| LS-2: LOCKSET; REFER TO SPECS | [2] PROVIDE MASTER KEY FOR ALL LS-1 HARDWARE |
| | [3] PROVIDE MASTER KEY FOR ALL LS-2 HARDWARE |



3 DOOR J100 - EXTERIOR ELEVATION
3/4" = 1'-0"



4 DOOR J100 - INTERIOR ELEVATION
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- STRIP AND PREPARE STILES, MULLIONS, AND RAILS TO RECEIVE NEW COAT OF PAINT. PATCH/REPAIR CRACKS AND HOLES WITH PUTTY. ANY ROTTED COMPONENTS TO BE REPLACED WITH WOOD, IN-KIND, MATCHING SPECIES.
- STRIP AND PREPARE CASING, STOOL, AND APRON TO RECEIVE NEW COAT OF PAINT TO MATCH EXISTING. PATCH/REPAIR CRACKS AND HOLES WITH PUTTY. ANY ROTTED COMPONENTS TO BE REPLACED WITH WOOD, IN-KIND, MATCHING SIZE AND SPECIES.
- STRIP AND PREPARE WINDOW FRAMES, SILLS, SASHES, AND TRIM TO RECEIVE NEW PAINT. PATCH/REPAIR CRACKS AND HOLES WITH PUTTY. ANY ROTTED COMPONENTS TO BE REPLACED WITH WOOD, IN-KIND, MATCHING SIZE AND SPECIES.
- REPAIR DAMAGED STILES.
- STRIP AND RECONDITION HARDWARE FOR REUSE.
- REPLACE MISSING CASING WITH WOOD, IN-KIND, MATCHING SIZE AND SPECIES.
- REPLACE BROKEN GLASS, REPLACE WITH NEW TEMPERED GLASS IN-KIND.
- SODA BLAST CLEAN ALL JAIL WINDOW BARS DOWN TO BARE METAL. THEN APPLY EPOXY PRIMER, THEN PAINT.
- STRIP AND PREPARE INTERIOR WINDOW SCREEN TO RECEIVE NEW PAINT. PATCH/REPAIR CRACKS AND HOLES WITH PUTTY. ANY ROTTED COMPONENTS TO BE REPLACED WITH WOOD, IN-KIND, MATCHING SIZE AND SPECIES. REPLACE GLASS PANES IN-KIND.
- REPAIR EXISTING TRANSOM FRAME / GLASS; REMOVE EXISTING PANES. REPLACE WITH NEW TEMPERED GLASS, IN-KIND. REPLACE DAMAGED WOOD COMPONENTS, IN-KIND, AS NEEDED. SAND, PREP, AND PAINT ALL WOOD SURFACES.
- REPAIR / REPLACE DAMAGED DOOR COMPONENTS AS NEEDED WITH WOOD, IN-KIND, MATCHING SIZE AND SPECIES. SAND, PREP, AND PAINT ALL WOOD SURFACES.
- REPLACE DAMAGED, DETERIORATED, OR MISSING WEATHERSTRIPPING AND INSTALL ADA METAL THRESHOLD.
- DAMAGED RECESSED PANELS TO BE REPLACED IN-KIND TO MATCH EXISTING IN SIZE AND SPECIES. SAND, PREP, AND PAINT NEW WOOD SURFACES TO MATCH EXISTING WOOD SURFACES.
- CONSTRUCT REPLICA WINDOW MATCH ADJACENT WOOD WINDOWS INKIND, SIZE AND SPECIES.
- NEW TEMPERED GLASS, MATCH EXISTING IN-KIND.
- NEW HARDWARE, MATCH EXISTING IN-KIND.
- DEMO PLYWOOD AND DUCT WORK TO REVEAL JAIL BARS; CAREFULLY REMOVE ALL EXPOSED SPRAY FOAM AND MASTIC FROM MASONRY